

2024 OBC DATA MATRIX - PART 11 - RENOVATION TO EXISTING BUILDING				OBC REFERENCE															
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: A2 ASSEMBLY (SCHOOL) CONSTRUCTION INDEX: HAZARD INDEX: AREA OF EXISTING BUILDING: AREA OF SUITE: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE IN MAJOR OCCUPANCY)		11.2.1 T11.2.1.1A T11.2.1.1B TO N															
11.2	ALTERATION TO EXISTING BUILDING IS:	<input checked="" type="checkbox"/> BASIC RENOVATION <input type="checkbox"/> EXTENSIVE RENOVATION		11.3.3.1 11.3.3.2															
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL BY INCREASE IN OCCUPANT LOAD BY CHANGE OF MAJOR OCCUPANCY PLUMBING SEWAGE SYSTEM <table><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES</td></tr><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES</td></tr><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES</td></tr><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES</td></tr><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES</td></tr></table>		<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES																	
<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES																	
<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES																	
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<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES																	
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL BY INCREASE IN OCCUPANT LOAD BY CHANGE OF MAJOR OCCUPANCY PLUMBING SEWAGE SYSTEM <table><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES (EXPLAIN)</td></tr><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES (EXPLAIN)</td></tr><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES (EXPLAIN)</td></tr><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES (EXPLAIN)</td></tr><tr><td><input checked="" type="checkbox"/></td><td>NO</td><td><input type="checkbox"/> YES (EXPLAIN)</td></tr></table>		<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES (EXPLAIN)	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES (EXPLAIN)	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES (EXPLAIN)	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES (EXPLAIN)	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES (EXPLAIN)																	
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<input checked="" type="checkbox"/>	NO	<input type="checkbox"/> YES (EXPLAIN)																	
11.5	COMPLIANCE ALTERNATIVE PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)		11.5.1															
11.6	ALTERNATIVE MEASURES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)		11.5.2															

FIRE SEPARATIONS:

1. PROVIDE FIRE STOPPING FOR ALL NEW PENETRATIONS AS REQUIRED TO MAINTAIN RATINGS AS FOLLOWS:

1. MAINTAIN 1 HOUR F.R.R. BETWEEN FIRST AND SECOND FLOORS AND MEZZANINES

2. MAINTAIN 1 HOUR F.R.R. AT ALL WALLS, FLOORS, AND CEILINGS OF ALL MECHANICAL, ELECTRICAL, AND JANITOR ROOMS.

3. MAINTAIN 1 HOUR F.R.R. AT WALLS, FLOORS, AND CEILINGS (WHERE THERE IS A SECOND FLOOR ABOVE) OF ALL WOODWORKING, CONSTRUCTION, AND MACHINE SHOPS.

4. MAINTAIN 2 HOUR F.R.R. AT WALLS, FLOORS, AND CEILINGS (WHERE THERE IS A SECOND FLOOR ABOVE) OF ALL WELDING AND AUTO/ TRANSPORTATION SHOPS.

5. NO ROOF RATING.
2. DUCT PENETRATIONS THROUGH CORRIDOR WALLS:

1. AT EXISTING DUCT REMOVALS, LEAVE EXISTING FIRE DAMPERS IN CLOSED POSITION, PROVIDE BLANK OFF PANEL ON CORRIDOR SIDE, REFER ALSO TO MECHANICAL DRAWINGS

2. PROVIDE FIRE DAMPERS AND FIRESTOPPING, REFER ALSO TO MECHANICAL DRAWINGS

DESIGNATED SUBSTANCES:

DESIGNATED SUBSTANCES HAVE BEEN IDENTIFIED ON THIS PROJECT. REFER TO HAZARDOUS BUILDING MATERIALS ASSESSMENT INCLUDED IN SPECIFICATION. COMPLY WITH ALL APPLICABLE LEGISLATION AND REGULATIONS WHEN HANDLING AND DISPOSING OF DESIGNATED SUBSTANCES. IDENTIFIED ASBESTOS-CONTAINING MATERIALS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO:

- PIPE FITTINGS
- PIPE INSULATION
- DUCT INSULATION
- GASKETS
- LAY-IN ACOUSTIC CEILING TILES
- VINYL FLOOR TILES
- VINYL SHEET FLOORING

GENERAL NOTES:

1. REFER ALSO TO MECHANICAL, ELECTRICAL, STRUCTURAL, AND ROOFING DRAWINGS FOR ITEMS TO BE REMOVED OR RELOCATED. PATCH AND MAKE GOOD ALL ADJACENT SURFACES IN AREAS OF REMOVALS TO MATCH EXISTING.
2. ALL DIMENSIONS SHOWN ARE APPROXIMATE, CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.

LIST OF ABBREVIATIONS

A	AND	JAN	JANITOR
ANG	ANGLE	JNSH	JANITOR SHELF
AT	AT	KPL	KICK PLATE
NUMB	NUMBER	LAM	LAMINATE
A/C	AIR CONDITIONER	LAV	LAVATORY
ACT	ACUSTIC TILE	LCK	LOCK
ADJ	ADJUSTABLE	LNO	LINOLEUM
AFF	ABOVE FINISH FLOOR	LSD	LIQUID SOAP DISPENSER
ALT	ALTERNATE	LTGH	LATCH
ALUM	ALUMINUM	LTHT	LIGHTHEIGHT
ANOD	ANODIZED	M	METRE (S)
APPROX	APPROXIMATE	MAS	MASONRY
ARCH	ARCHITECTURAL	MATL	MATERIAL
AUTO	AUTOMATIC	MAX	MAXIMUM
BD	BOARD	MEGH	MECHANICAL
BITUM	BITUMINOUS	MEZZ	MEZZANINE
BLDG	BUILDING	MFR	MANUFACTURER
BLK	BLOCK	MH	MANHOLE
BM	BEAM	MID	MIDDLE
BSMT	BASEMENT	MIN	MINIMUM
BUR	BUILT-UP ROOF	MISC	MISCELLANEOUS
BF	BARRIER-FREE	mm	MILLIMETER (S)
CA	CLEAR ANODIZED	MO	MASONRY OPENINGS
CAB	CABINET	MOD	MODIFIED BITUMEN
CANT	CANTILEVER	MR	MIRROR
CB	CONCRETE BLOCK	MTL	METAL
CEM	CEMENT	MJL	MULLION
CG	CORNER GUARD	N	NORTH
CH	COAT HOOK	NC	NOT IN CONTRACT
CJ	CONTROL JOINT	NTS	NOT TO SCALE
CLS	CEILING	O.C.	ON CENTER
CLOSR	CLOSER	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OHD	OVERHEAD DOOR
COL	COLUMN	PDO	POWER DOOR OPERATOR
CONC	CONCRETE	PLAN	PLASTIC LAMINATE
CONT	CONTINUOUS	PLAS	PLASTER
CORR	CORRIDOR	PLYMD	PLYWOOD
CFT	CARPET	PREFIN	PREFINISHED
CT	CERAMIC TILE	PRS	POWERED ROLLER SHADE
CTR	CENTER	PSH	PUSH
C/M	COMPLETE WITH	PT	PAINT
		FUL	FULL
D	DRYER	R	RISER
DBL	DOUBLE	RAD	RADIUS
DEPT	DEPARTMENT	RB	RUBBER
DET	DETAIL	REINF	REINFORCED
DF	DRINKING FOUNTAIN	REVIS	REVISIONS
DIA	DIAMETER	RM	ROOM
DN	DIMENSION	RO	ROUGH OPENING
DNW	DOWN	RS	ROLLER SHADE
DR	DOOR	RT	RUBBER TILE
DS	DOWNSPOUT	SEAL	SEALER
DWS	DRAWING	SCHED	SCHEDULE
EA	EACH	SCR	SHOWER ROD AND CURTAIN
EB	EXPANSION BOLT	SD	SMOKE DETECTOR
EF	EACH FACE	SDP	SOAP DISPENSER
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SDVCT	STATIC DISSIPATIVE VINYL TILE
EJ	EXPANSION JOINT	SECT	SECTION
ELEV	ELEVATION	SH	SHELF
ELEC	ELECTRICAL	SHT	SHEET
EMERG	EMERGENCY	SHTV	SHEET VINYL
ENCL	ENCLOSURE	SHR	SHOWER
EP	ELECTRICAL PANEL	SHR	SIMILAR
EPDM	ETHYLENE-PROPYLENE-DIENE POLYMER	SP	SPANDREL PANEL
EPT	EPOXY PAINT	SPEC	SPECIFICATION
EQ	EQUIPMENT	SPKR	SPEAKER
EQUIP	EQUIPMENT	SQ	SQUARE
EACH MAY	EACH MAY	SS	STAINLESS STEEL
EX	EXISTING	STD	STANDARD
EXIST	EXISTING	STL	STEEL
EXP	EXPOSED	STOR	STORAGE
EXT	EXTERIOR	STR	STRUCTURE
		SUSP	SUSPENDED
		SH	SIMILAR
FA	FIRE ALARM	T	TREAD
FD	FLOOR DRAIN	TB	TOMEL BAR
FE	FIRE EXTINGUISHER	TBD	TO BE DETERMINED
FEQ	FIRE EXTINGUISHER AND CABINET	TEMP	TEMPERED
FHG	FIRE HOSE CABINET	T&G	TONGUE AND GROOVE
F.F.	FINISH FLOOR	THK	THICK
FG	FIXED GLASS	THR	THRESHOLD
FIN	FINISHED	THRU	THROUGH
FL	FLOOR	TPD	TOILET PAPER DISPENSER
FLUOR	FLUORESCENT	TYP	TYPICAL
FND	FOUNDATION	U/S	UNDERSIDE
FT	FOOT, FEET	V	VINYL
FTG	FOOTING	VARN	VARNISHED
FURN	FURNITURE	VB	VAPOUR BARRIER
		VCT	VINYL COMPOSITE TILE
GA	GAGE, GAUGE	VENT	VENTILATION
GALV	GALVANIZED	VERT	VERTICAL
GB	GRAB BAR	VEST	VESTIBULE
GB-L	L-SHAPED GRAB BAR	VT	VINYL TILE
GB-FD	FOLD DOWN GRAB BAR		
GC	GENERAL CONTRACTOR		
GL	GLASS/GLAZING		
GRND	GROUND		
GR	GRADE		
GNB	GYPSUM WALL BOARD		
GNS	GEORGIAN WIRE GLASS		
GYP	GYPSUM		
HB	HOSE BIBB		
H/C	HANDICAP(ED)		
HD	HAND DRYER		
HDWD	HARDWOOD		
HDYR	HARDWARE		
HM	HOLLOW METAL		
HNS	HINGE		
HO	HOLD OPEN		
HORZ	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING, VENTILATING, AIR CONDITIONING		
HWH	HOT WATER HEATER		
ID	INSIDE DIAMETER		
INFO	INFORMATION		
INSUL	INSULATION / INSULATED		
INT	INTERIOR		
INV	INVERT		

LEGEND OF SYMBOLS

	ROOM NAME AND NUMBER		WINDOW TYPE, REFER TO WINDOW TYPE ELEVATIONS FOR SCOPE OF REMOVALS AND NEW WORK
	SECTION NUMBER		DEMOLITION NOTE
	SECTION REFERENCE		CONSTRUCTION NOTE
	SHEET WHERE DETAILED		DOOR TYPE, REFER TO DOOR SCHEDULES
	SHEET WHERE DETAILED		EXISTING DOOR AND FRAME TO REMAIN
	ELEVATION REFERENCE		
	ELEVATION NUMBER		

LIST OF DRAWINGS

GENERAL	COVER PAGE AND LIST OF DRAWINGS
000	
ARCHITECTURAL	
301	GROUND FLOOR PLAN
302	SECOND FLOOR PLAN
303	ROOF PLAN
304	GROUND FLOOR REFLECTED CEILING PLAN
305	SECOND FLOOR REFLECTED CEILING PLAN
307	GROUND FLOOR PLAN PART 2
308	GROUND FLOOR PLAN PART 3 AND PHOTOS
309	GROUND FLOOR PLAN PART 4
310	GROUND FLOOR PLAN - PART 5
311	SECOND FLOOR PLAN - PART 1 AND PART 2
312	SECOND FLOOR PLAN - PART 3
313	SECOND FLOOR PLAN - PART 4
314	GROUND FLOOR REFLECTED CEILING PLAN PART 1
315	GROUND FLOOR REFLECTED CEILING PLAN PART 2
316	GROUND FLOOR REFLECTED CEILING PLAN PART 3
317	GROUND FLOOR REFLECTED CEILING PLAN PART 4
318	GROUND FLOOR REFLECTED CEILING PLAN PART 5
319	SECOND FLOOR REFLECTED CEILING PLAN PART 1 & 2
320	SECOND FLOOR REFLECTED CEILING PLAN PART 3
321	SECOND FLOOR REFLECTED CEILING PLAN PART 4
322	WINDOW TYPE ELEVATIONS
323	WINDOW TYPE ELEVATIONS
324	WINDOW DETAILS
STRUCTURAL	
51	FIRST FLOOR STRUCTURAL WALL UNITS PLAN
52	STRUCTURAL ROOF FRAMING PLAN
53	SECOND FLOOR STRUCTURAL SEISMIC SUPPORT DETAILS
MECHANICAL	
M001	MECHANICAL - LEGEND AND DRAWING LIST
M002	MECHANICAL - KEY PLANS
MD101	MECHANICAL - GROUND FLOOR PART 1 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD102	MECHANICAL - GROUND FLOOR PART 2 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD103	MECHANICAL - GROUND FLOOR PART 3 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD104	MECHANICAL - GROUND FLOOR PART 4 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD105	MECHANICAL - GROUND FLOOR PART 5 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD106	MECHANICAL - SECOND FLOOR PART 1 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD107	MECHANICAL - SECOND FLOOR PART 2 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD108	MECHANICAL - SECOND FLOOR PART 3 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD109	MECHANICAL - SECOND FLOOR PART 4 - PLUMBING AND FIRE PROTECTION DEMOLITION
MD201	MECHANICAL - GROUND FLOOR PART 1 - HVAC DEMOLITION
MD202	MECHANICAL - GROUND FLOOR PART 2 - HVAC DEMOLITION
MD203	MECHANICAL - GROUND FLOOR PART 3 - HVAC DEMOLITION
MD204	MECHANICAL - GROUND FLOOR PART 4 - HVAC DEMOLITION
MD205	MECHANICAL - GROUND FLOOR PART 5 - HVAC DEMOLITION
MD206	MECHANICAL - SECOND FLOOR PART 1 - HVAC DEMOLITION
MD207	MECHANICAL - SECOND FLOOR PART 2 - HVAC DEMOLITION
MD208	MECHANICAL - SECOND FLOOR PART 3 - HVAC DEMOLITION
MD209	MECHANICAL - SECOND FLOOR PART 4 - HVAC DEMOLITION
MD301	MECHANICAL - ROOF PLAN PART 1 - DEMOLITION
MD302	MECHANICAL - ROOF PLAN PART 2 - DEMOLITION
MD303	MECHANICAL - ROOF PLAN PART 3 - DEMOLITION
MD304	MECHANICAL - ROOF PLAN PART 4 - DEMOLITION
MD305	MECHANICAL - ROOF PLAN PART 5 - DEMOLITION
MD101	MECHANICAL - GROUND FLOOR PART 1 - PLUMBING AND FIRE PROTECTION
M102	MECHANICAL - GROUND FLOOR PART 2 - PLUMBING AND FIRE PROTECTION
M103	MECHANICAL - GROUND FLOOR PART 3 - PLUMBING AND FIRE PROTECTION
M104	MECHANICAL - GROUND FLOOR PART 4 - PLUMBING AND FIRE PROTECTION
M105	MECHANICAL - GROUND FLOOR PART 5 - PLUMBING AND FIRE PROTECTION
M106	MECHANICAL - SECOND FLOOR PART 1 - PLUMBING AND FIRE PROTECTION
M107	MECHANICAL - SECOND FLOOR PART 2 - PLUMBING AND FIRE PROTECTION
M108	MECHANICAL - SECOND FLOOR PART 3 - PLUMBING AND FIRE PROTECTION
M109	MECHANICAL - SECOND FLOOR PART 4 - PLUMBING AND FIRE PROTECTION
M201	MECHANICAL - GROUND FLOOR PART 1 - HVAC
M202	MECHANICAL - GROUND FLOOR PART 2 - HVAC
M203	MECHANICAL - GROUND FLOOR PART 3 - HVAC
M204	MECHANICAL - GROUND FLOOR PART 4 - HVAC
M205	MECHANICAL - GROUND FLOOR PART 5 - HVAC
M206	MECHANICAL - SECOND FLOOR PART 1 - HVAC
M207	MECHANICAL - SECOND FLOOR PART 2 - HVAC
M208	MECHANICAL - SECOND FLOOR PART 3 - HVAC
M209	MECHANICAL - SECOND FLOOR PART 4 - HVAC
M301	MECHANICAL - ROOF PLAN PART 1 - NEW
M302	MECHANICAL - ROOF PLAN PART 2 - NEW
M303	MECHANICAL - ROOF PLAN PART 3 - NEW
M304	MECHANICAL - ROOF PLAN PART 4 - NEW
M305	MECHANICAL - ROOF PLAN PART 5 - NEW
M401	MECHANICAL - SCHEDULES
M501	MECHANICAL - DETAILS
M502	MECHANICAL - DETAILS
M503	MECHANICAL - DETAILS

ELECTRICAL	
E000	ELECTRICAL - LEGEND, DRAWING LIST AND KEY PLAN
ES101	ELECTRICAL - SITE PLAN
ED101	ELECTRICAL - GROUND FLOOR PART 2 - DEMOLITION
ED102	ELECTRICAL - GROUND FLOOR PART 4 - DEMOLITION
ED103	ELECTRICAL - SECOND FLOOR PART 1 - DEMOLITION
ED104	ELECTRICAL - SECOND FLOOR PART 2 - POWER
ED105	ELECTRICAL - SECOND FLOOR PART 4 - POWER
ED106	ELECTRICAL - ROOF PLAN PART 1 - DEMOLITION
ED107	ELECTRICAL - ROOF PLAN PART 3 - DEMOLITION
ED108	ELECTRICAL - ROOF PLAN PART 4 - DEMOLITION
ED109	ELECTRICAL - ROOF PLAN PART 5 - DEMOLITION
E001	ELECTRICAL - SINGLE LINE DRAWING
E101	ELECTRICAL - GROUND FLOOR PART 1 - SYSTEMS
E102	ELECTRICAL - GROUND FLOOR PART 2 - SYSTEMS
E103	ELECTRICAL - GROUND FLOOR PART 3 - SYSTEMS
E104	ELECTRICAL - GROUND FLOOR PART 4 - SYSTEMS
E105	ELECTRICAL - GROUND FLOOR PART 5 - SYSTEMS
E201	ELECTRICAL - SECOND FLOOR PART 1 - SYSTEMS
E202	ELECTRICAL - SECOND FLOOR PART 2 - SYSTEMS
E203	ELECTRICAL - SECOND FLOOR PART 3 - SYSTEMS
E204	ELECTRICAL - SECOND FLOOR PART 4 - SYSTEMS
E301	ELECTRICAL - ROOF PLAN PART 1 - POWER
E302	ELECTRICAL - ROOF PLAN PART 2 - POWER
E303	ELECTRICAL - ROOF PLAN PART 3 - POWER
E304	ELECTRICAL - ROOF PLAN PART 4 - POWER
E305	ELECTRICAL - ROOF PLAN PART 5 - POWER
E401	ELECTRICAL - DETAILS

ROOFING	
1	EXISTING CONDITIONS PLAN
2	PROPOSED ROOF PLAN
3	DETAILS
4	DETAILS
5	DETAILS

NOTES

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TISS - MECHANICAL REPLACEMENT

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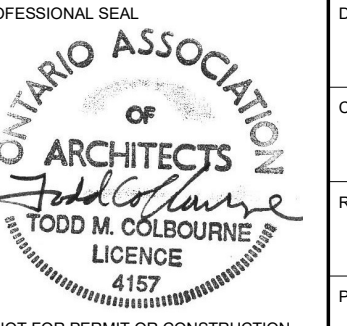
DRAWING

COVER PAGE AND LIST OF DRAWINGS

SCALE

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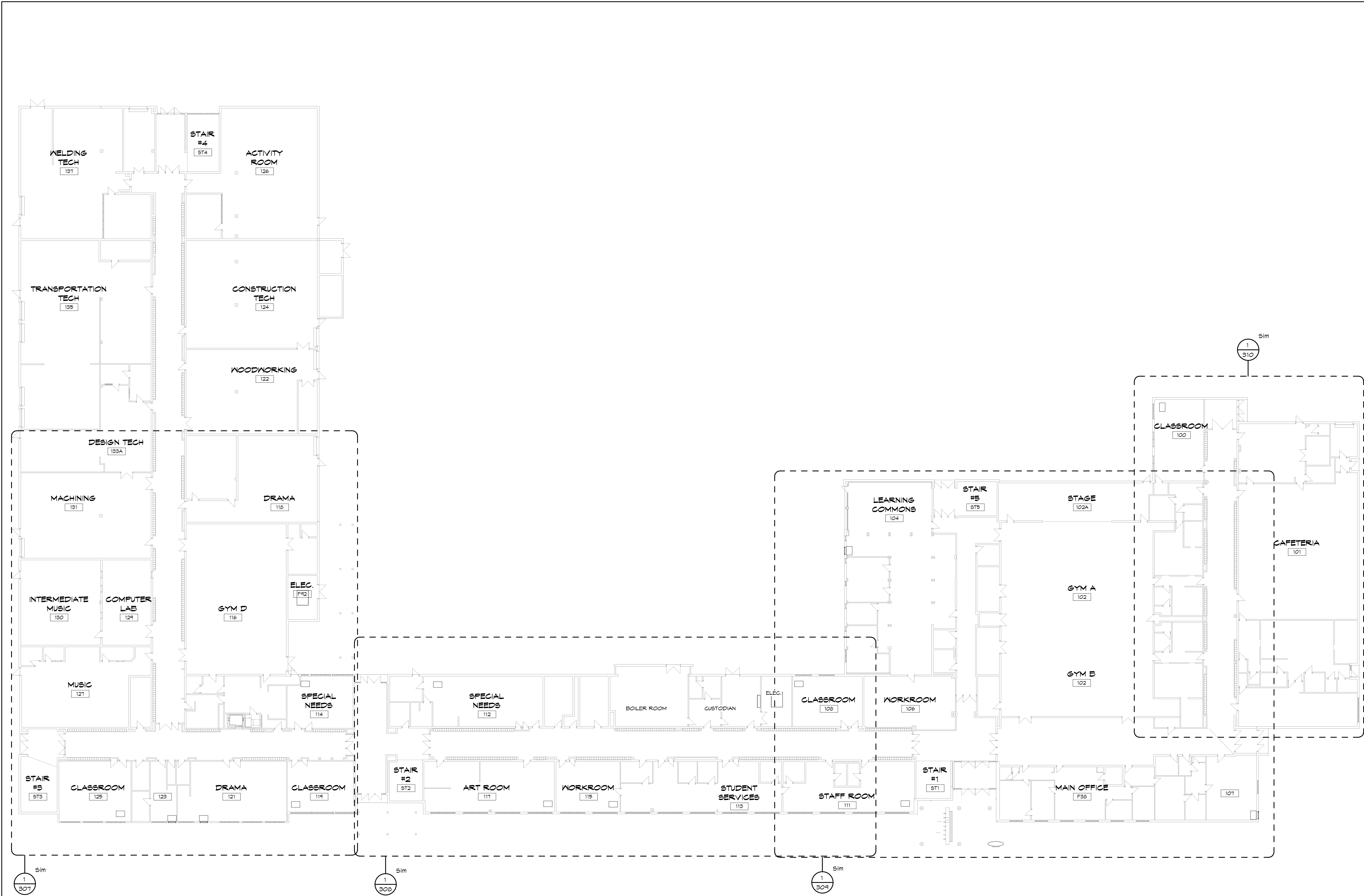
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1

GROUND FLOOR

SCALE:
1 : 250

0m5m10m15m20m25m

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PROJECT

TISS - MECHANICAL
REPLACEMENT
2510 PARKEDALE AVE., BROCKVILLE,
ON

DRAWING

GROUND FLOOR PLAN

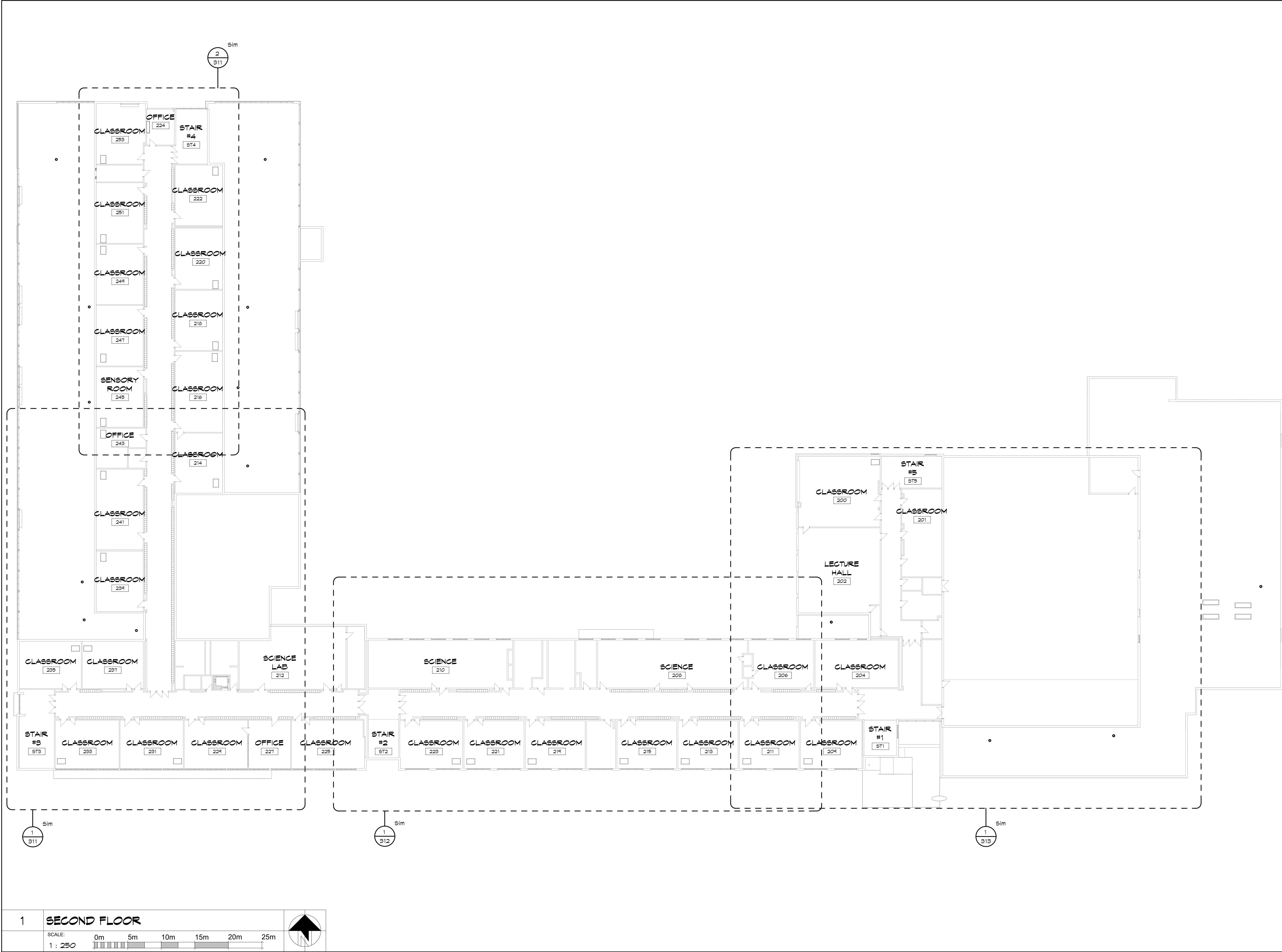
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301



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PROJECT

**TISS - MECHANICAL
REPLACEMENT**

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ON

DRAWING

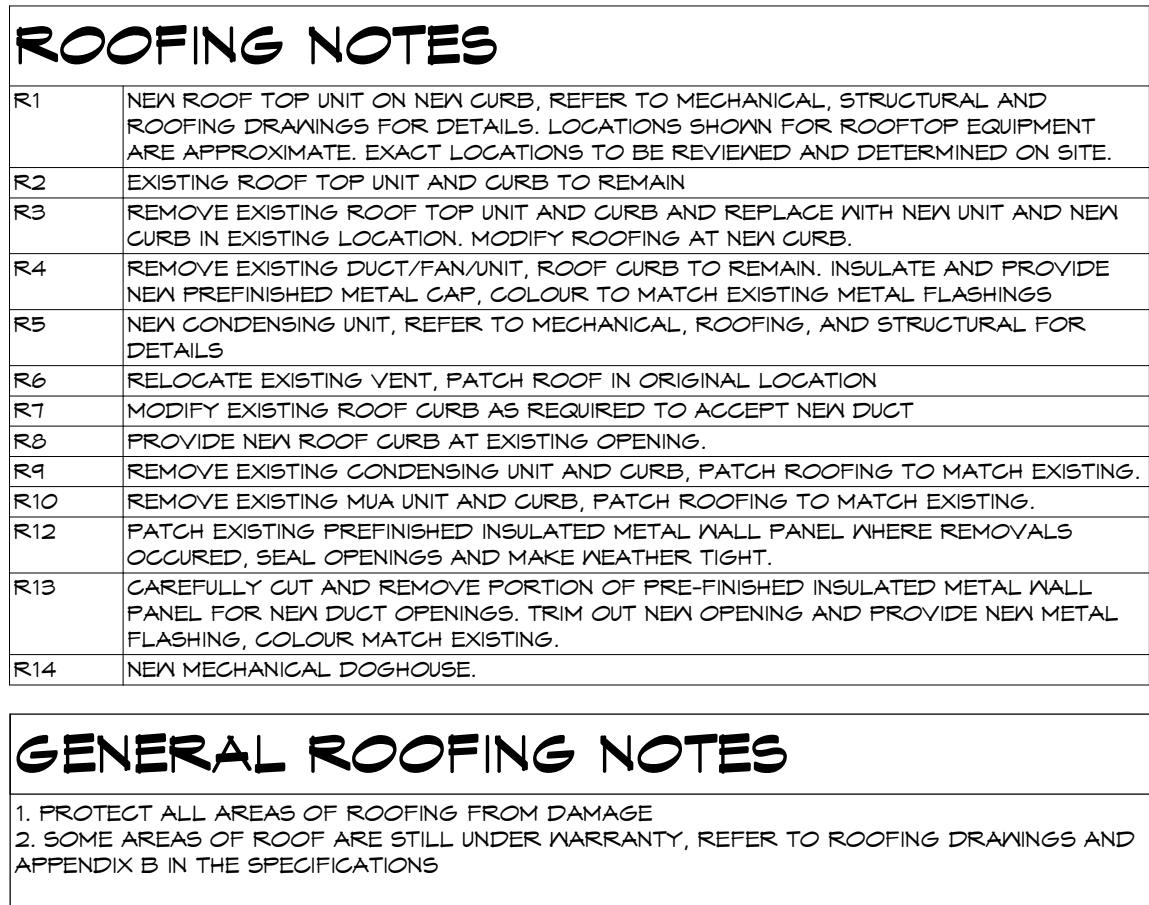
SECOND FLOOR PLAN

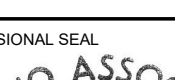
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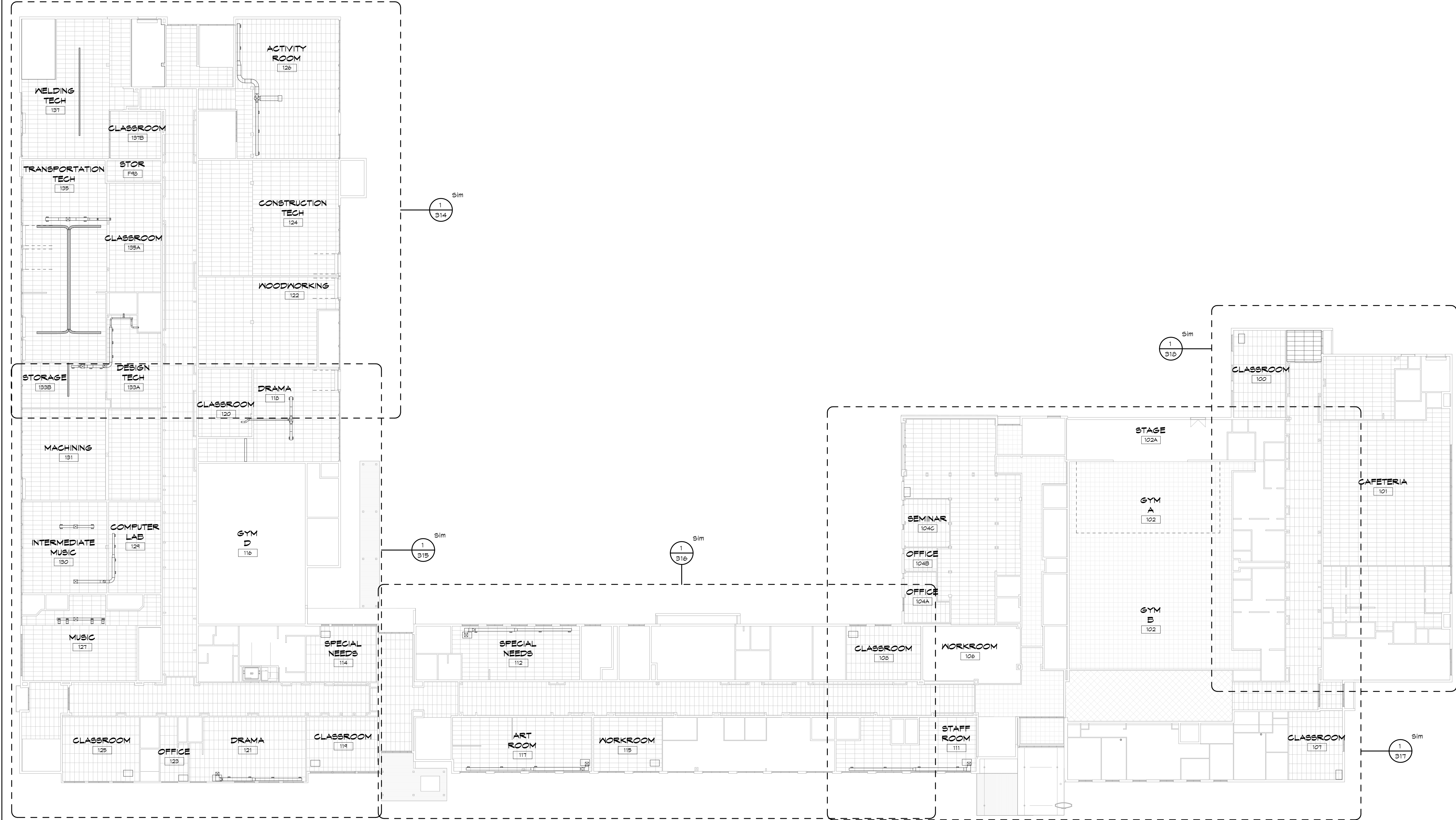
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	REVIEWED	TC
	PROJECT No.	4157

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	PROJECT No. 2407B	303	
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1

GROUND FLOOR

SCALE:
1 : 250

0m 5m 10m 15m 20m 25m

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PROJECT

TISS - MECHANICAL
REPLACEMENT
2510 PARKDALE AVE., BROCKVILLE,
ON

DRAWING

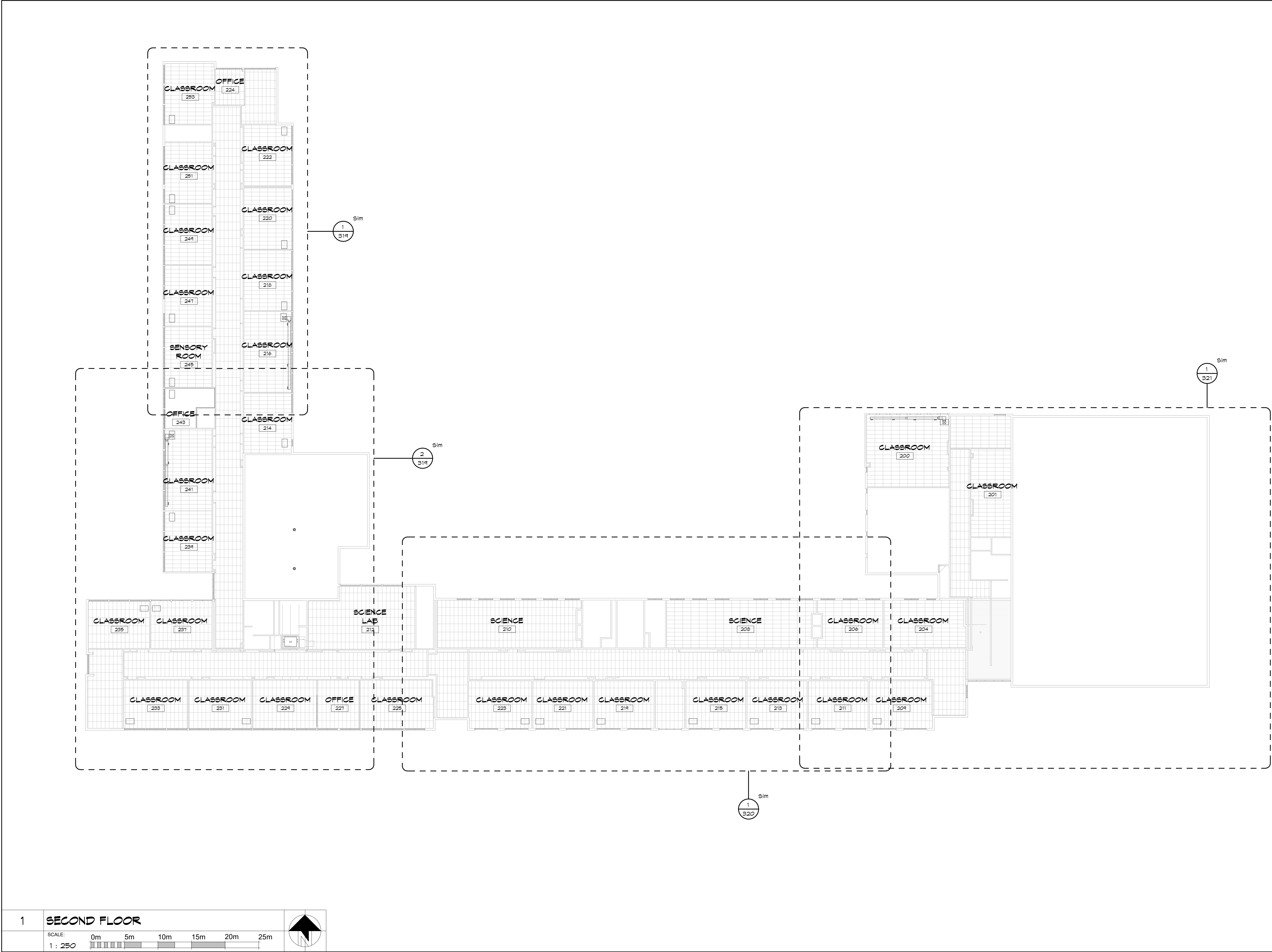
GROUND FLOOR REFLECTED
CEILING PLAN

SCALE

1 : 250

PROFESSIONAL SEAL	DRAWN	DATE
<div>ODD M. COLBOURNE 4157 LICENCE</div>	ZB/MY	
	CHECKED	PRINTED
	LS	02/27/25
	REVIEWED	DRAWING No.
	TC	
	PROJECT No.	
	4157	
	24078	304

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 **COLBOURNE & KEMBEL,
ARCHITECTS INC.**
1350 ARLINGTON PARK PLACE
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PROJECT

**TISS - MECHANICAL
REPLACEMENT**
2510 PARKEDALE AVE., BROCKVILLE,
ON

DRAWING

**SECOND FLOOR REFLECTED
CEILING PLAN**

SCALE

1 : 250

PROFESSIONAL SEAL	DRAWN	DATE
	ZB/MY	
	CHECKED	PRINTED
	LS	02/21/25
	REVIEWED	DRAWING No.
	TC	
	PROJECT No.	
	4157	
	24078	305

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DEMOLITION NOTES

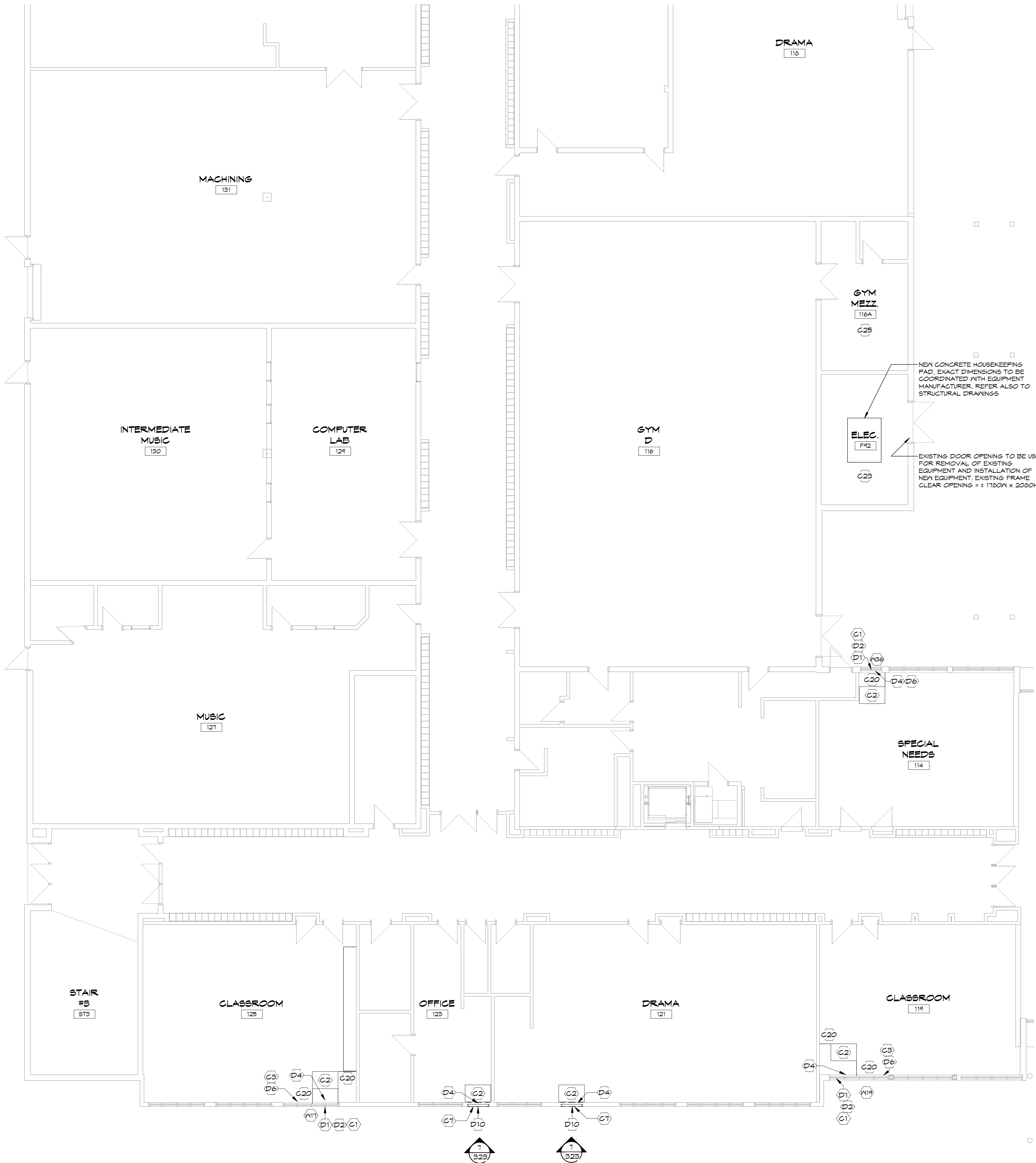
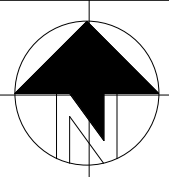
D1	REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE. ALUMINUM FRAME TO REMAIN.
D2	REMOVE EXISTING ALUMINUM AWNING OPERATOR TO ACCOMMODATE NEW LOUVRE. ALUMINUM FRAME TO REMAIN.
D3	REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING.
D4	REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION. REFER MECHANICAL.
D5	REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER.
D6	REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER.
D7	REMOVE EXISTING WALL MOUNTED WOOD SHELVING. REFER TO PHOTO 1.
D8	REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET. REFER TO PHOTO 1.
D9	CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR.
D10	CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 80mm Limestone EXTERIOR, 19mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
D11	REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT. REFER TO PHOTO 2.
D12	CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW. PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD. REFER PHOTO 3.
D13	CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK.
D14	CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENER, 19mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
D15	CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
D16	CAREFULLY CUT/GORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
D17	REMOVE EXISTING LIGHT FIXTURE. REFER TO ELECTRICAL. PROVIDE NEW ACOUSTIC TILE TO MATCH EXISTING IN AREA OF REMOVAL.
D18	REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING.
D19	REMOVE EXISTING CEILINGS (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON WOOD FRAMING).

CONSTRUCTION NOTES

C1	PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME. REFER TO MECHANICAL.
C2	PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING. REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS.
C3	PROVIDE NEW ROLLER SHADE.
C4	PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS.
C5	PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING.
C6	PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN.
C7	PROVIDE PRE-FINISHED ALUMINUM LOUVRE. REFER TO MECHANICAL.
C8	RELOCATE TACKBOARD, LOCATION TBD.
C9	EXISTING WALL MOUNTED SHELF TO REMAIN.
C10	REMOVE FRAMED CHALKBOARD. PATCH AND PAINT WALL TO MATCH EXISTING.
C11	EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN. REMOVE AS REQUIRED TO COMPLETE WORK. REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
C12	NEW EXPOSED DUCTWORK. PROVIDE PAINT FINISH. REFER TO MECHANICAL.
C13	NEW WALL MOUNTED A/C UNIT. REFER TO MECHANICAL.
C14	PATCH GYPSUM BOARD CEILING IN AREA OF REMOVALS. PROVIDE NEW PAINT FINISH ON ENTIRE CEILING.
C15	REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK. REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
C16	PROVIDE NEW CEILING TILE IN AREAS OF FAN REMOVALS AND REPLACEMENTS AS REQUIRED.
C17	PATCH FLOOR AT LOCATION OF MECHANICAL REMOVALS WITH STEEL DECK AND CONCRETE. REFER TO STRUCTURAL.
C18	RELOCATE LIGHT FIXTURE. REFER TO ELECTRICAL. ALLOW FOR 2 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION LOCATION.
C20	PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME. FULL HEIGHT. MIN. 20 GAUGE. COLOUR TO MATCH UNIT CABINET COLOUR.
C21	PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING.
C22	PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS.
C23	PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C24	PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING.
C25	PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C26	PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN. SEAL AND MAKE WEATHERTIGHT.
C27	PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID.

1 GROUND FLOOR - PART 2

SCALE: 1 : 100



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info@ck&k.ca www.ck&k.ca

PROJECT

TISS - MECHANICAL REPLACEMENT

2510 PARKEDALE AVE., BROCKVILLE, ON

DRAWING

GROUND FLOOR PLAN PART 2

SCALE

1 : 100

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24078		

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307



PHOTO 1 - ART ROOM CABINET REMOVALS



PHOTO 2 - CHALKBOARD UNIT TO BE REMOVED



PHOTO 3 - SLOPED CHALKBOARD UNIT

CONSTRUCTION NOTES

- C1 PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL.
- C2 PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS.
- C3 PROVIDE NEW ROLLER SHADE.
- C4 PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS.
- C5 PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING.
- C6 PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN.
- C7 PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL.
- C8 RELOCATE TACKBOARD, LOCATION TBD.
- C9 EXISTING WALL MOUNTED SHELF TO REMAIN.
- C10 REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING.
- C11 EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN, REMOVE AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
- C12 NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH, REFER TO MECHANICAL.
- C13 NEW WALL MOUNTED A/C UNIT, REFER TO MECHANICAL.
- C14 PATCH GYPSUM BOARD CEILING IN AREA OF REMOVALS, PROVIDE NEW PAINT FINISH ON ENTIRE CEILING.
- C15 REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
- C16 PROVIDE NEW CEILING TILE IN AREAS OF FAN REMOVALS AND REPLACEMENTS AS REQUIRED.
- C17 PATCH FLOOR AT LOCATION OF MECHANICAL REMOVALS WITH STEEL DECK AND CONCRETE, REFER TO STRUCTURAL.
- C18 RELOCATE LIGHT FIXTURE, REFER TO ELECTRICAL. ALLOW FOR 2 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION LOCATION.
- C20 PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR.
- C21 PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING.
- C22 PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS.
- C23 PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
- C24 PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING.
- C25 PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
- C26 PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN, SEAL AND MAKE WEATHERTIGHT.
- C27 PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID.

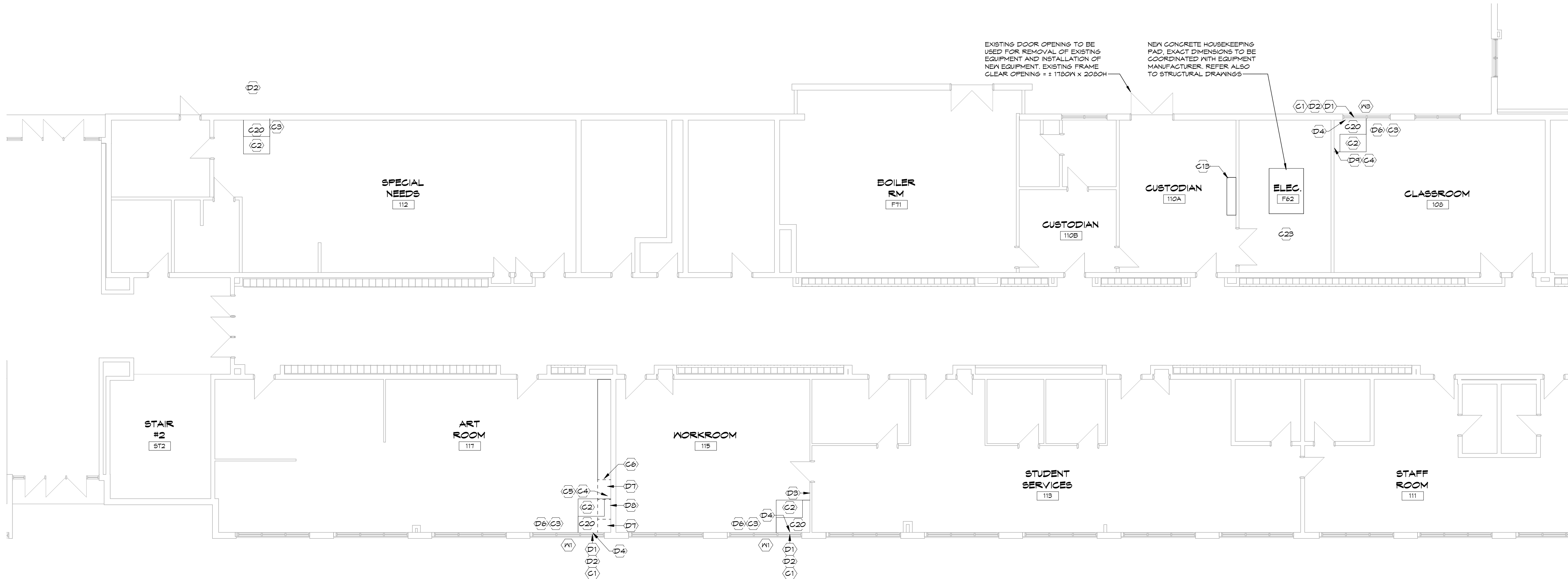
DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN.
- D2 REMOVE EXISTING ALUMINUM WINNING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN.
- D3 REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING.
- D4 REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION, REFER MECHANICAL.
- D5 REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER.
- D6 REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER.
- D7 REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1.
- D8 REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1.
- D9 CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR.
- D10 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 300mm LIMESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2.
- D12 CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW. PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD. REFER PHOTO 3.
- D13 CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK.
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- D15 CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
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- D19 REMOVE EXISTING CEILING (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON WOOD FRAMING).

NOTES

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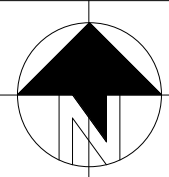
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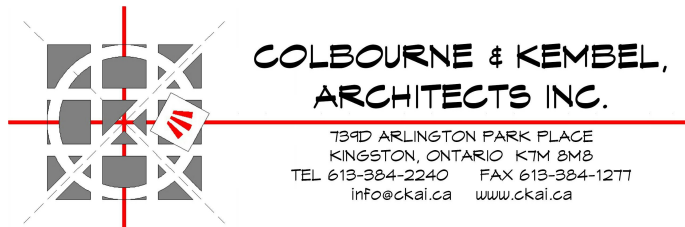
1 GROUND FLOOR - PART 3

SCALE:
1 : 100

0m 2m 4m 6m 8m 10m



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PROJECT
TISS - MECHANICAL REPLACEMENT
2510 PARKEDALE AVE., BROCKVILLE, ON

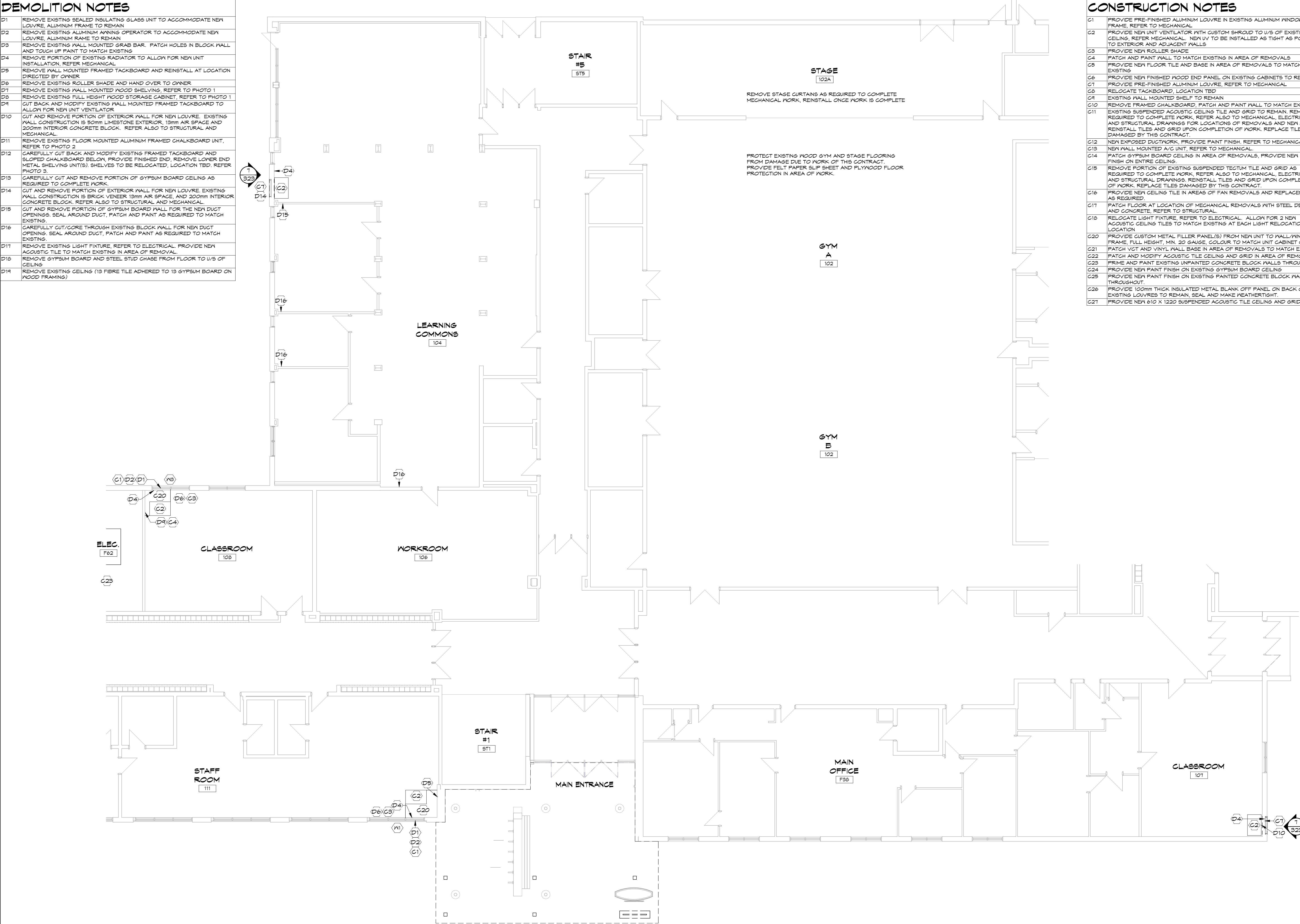
DRAWING
GROUND FLOOR PLAN PART 3 AND PHOTOS

SCALE
1 : 100

PROFESSIONAL SEAL ONTARIO ASSOCIATION OF ARCHITECTS TODD M. COLBOURNE LICENCE 4157 NOT FOR PERMIT OR CONSTRUCTION WITHOUT SEAL AND ISSUED NOTE	DRAWN ZB/MY CHECKED LS REVIEWED TC PROJECT No. 4157 24078	DATE PRINTED DRAWING No. 308
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DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D2 REMOVE EXISTING ALUMINUM AINING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D3 REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
- D4 REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION, REFER MECHANICAL
- D5 REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
- D6 REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
- D7 REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1
- D8 REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1
- D9 CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
- D10 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 90mm LIMESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
- D12 CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD, REFER PHOTO 3.
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CONSTRUCTION NOTES

- C1 PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL.
- C2 PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS
- C3 PROVIDE NEW ROLLER SHADE
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PROJECT

TISS - MECHANICAL REPLACEMENT

2510 PARKEDALE AVE., BROCKVILLE, ON

DRAWING

GROUND FLOOR PLAN PART 4

SCALE

1 : 100

PROFESSIONAL SEAL

TODD M. COLBOURNE
LICENCEE

DRAWN

ZB/MY

CHECKED

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REVIEWED

TC

PROJECT No.

4157

24078

DATE

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DRAWING No.

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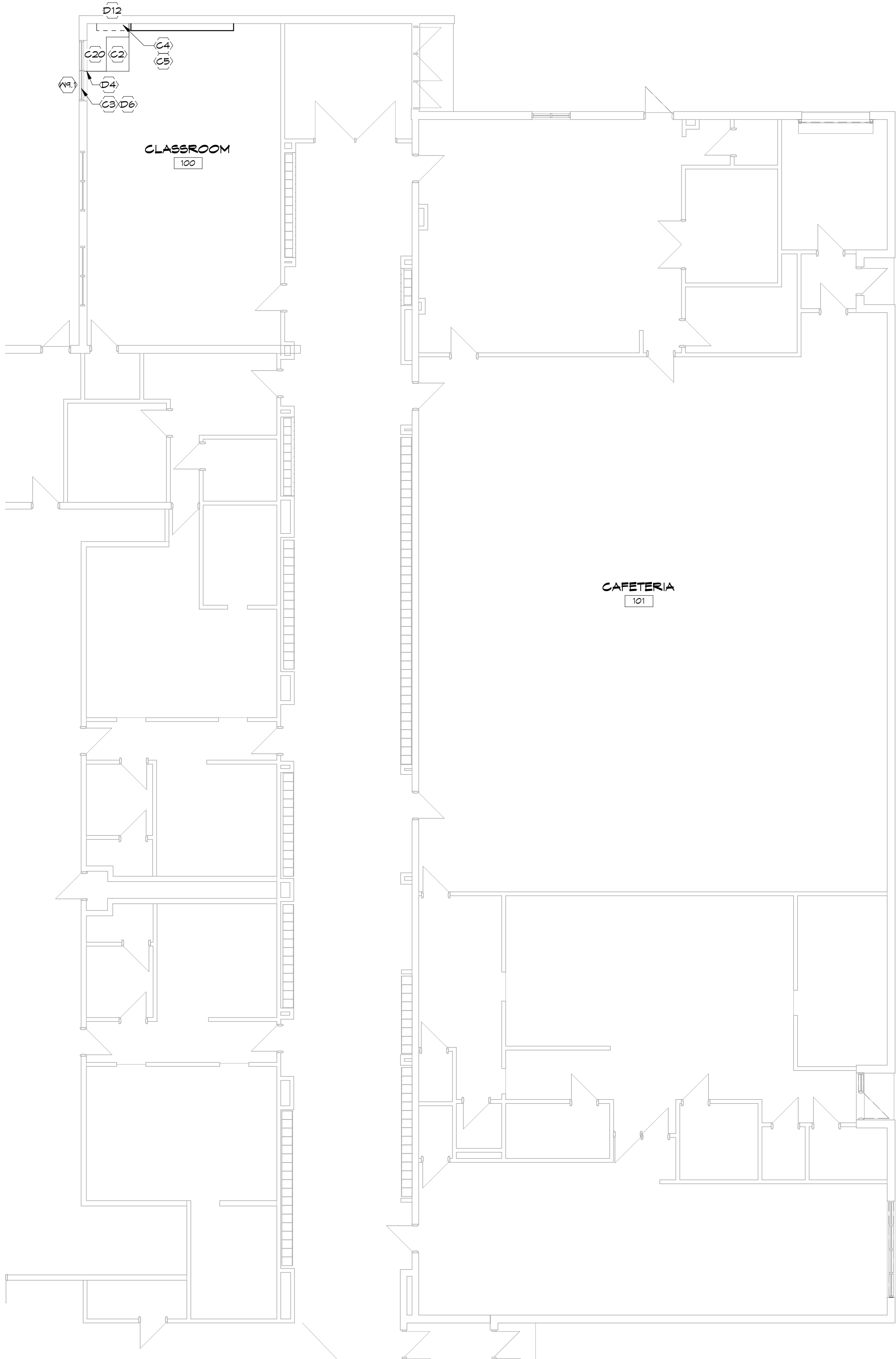
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D7	REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1
D8	REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1
D9	CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
D10	CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 90mm LIMESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
D11	REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
D12	CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD, REFER PHOTO 3
D13	CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK.
D14	CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENEER 15mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
D15	CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
D16	CAREFULLY CUT/CORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
D17	REMOVE EXISTING LIGHT FIXTURE, REFER TO ELECTRICAL. PROVIDE NEW ACOUSTIC TILE TO MATCH EXISTING IN AREA OF REMOVAL.
D18	REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING
D19	REMOVE EXISTING CEILING (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON WOOD FRAMING)

CONSTRUCTION NOTES

C1	PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL
C2	PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS
C3	PROVIDE NEW ROLLER SHADE
C4	PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS
C5	PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING
C6	PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN
C7	PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL
C8	RELOCATE TACKBOARD, LOCATION TBD
C9	EXISTING WALL MOUNTED SHELF TO REMAIN
C10	REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
C11	EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN. REMOVE AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
C12	NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH, REFER TO MECHANICAL.
C13	NEW WALL MOUNTED A/C UNIT, REFER TO MECHANICAL.
C14	PATCH GYPSUM BOARD CEILING IN AREA OF REMOVALS, PROVIDE NEW PAINT FINISH ON ENTIRE CEILING.
C15	REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
C16	PROVIDE NEW CEILING TILE IN AREAS OF FAN REMOVALS AND REPLACEMENTS AS REQUIRED.
C17	PATCH FLOOR AT LOCATION OF MECHANICAL REMOVALS WITH STEEL DECK AND CONCRETE, REFER TO STRUCTURAL
C18	RELOCATE LIGHT FIXTURE, REFER TO ELECTRICAL. ALLOW FOR 2 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION LOCATION
C20	PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR
C21	PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING
C22	PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS
C23	PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C24	PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING
C25	PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C26	PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN. SEAL AND MAKE WEATHERTIGHT.
C27	PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID



1

GROUND FLOOR - PART 5

SCALE:
1 : 100

0m2m4m6m8m10m

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NO.	BY	REVISIONS/SUBMISSIONS	DATE

**COLBOURNE & KEMBEL,
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PROJECT

**TISS - MECHANICAL
REPLACEMENT**
2510 PARKEDALE AVE., BROCKVILLE,
ON

DRAWING

GROUND FLOOR PLAN - PART 5

SCALE

1 : 100

PROFESSIONAL SEAL

ARCHITECTS
TODD M. COLBOURNE
LICENCE
4157

DRAWN

ZB/MY

DATE

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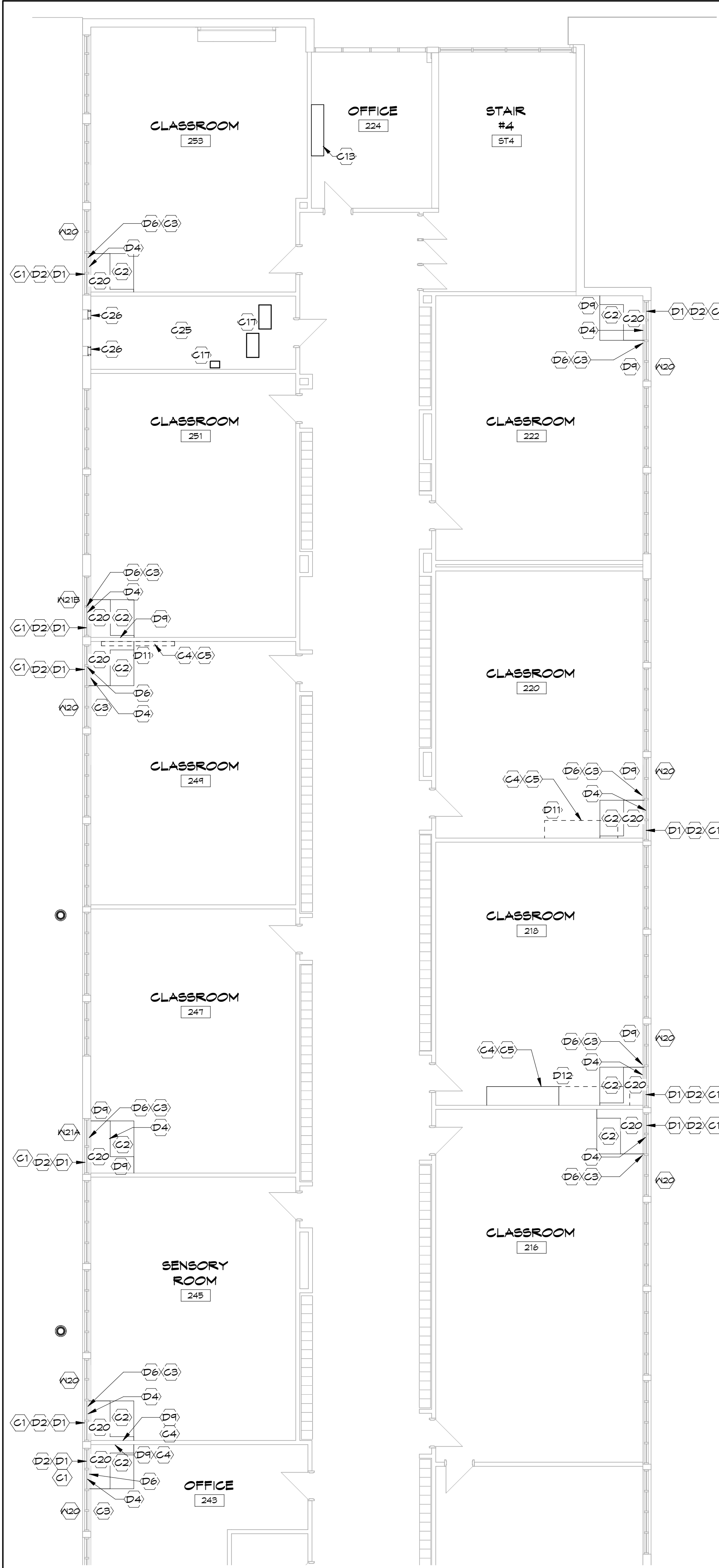
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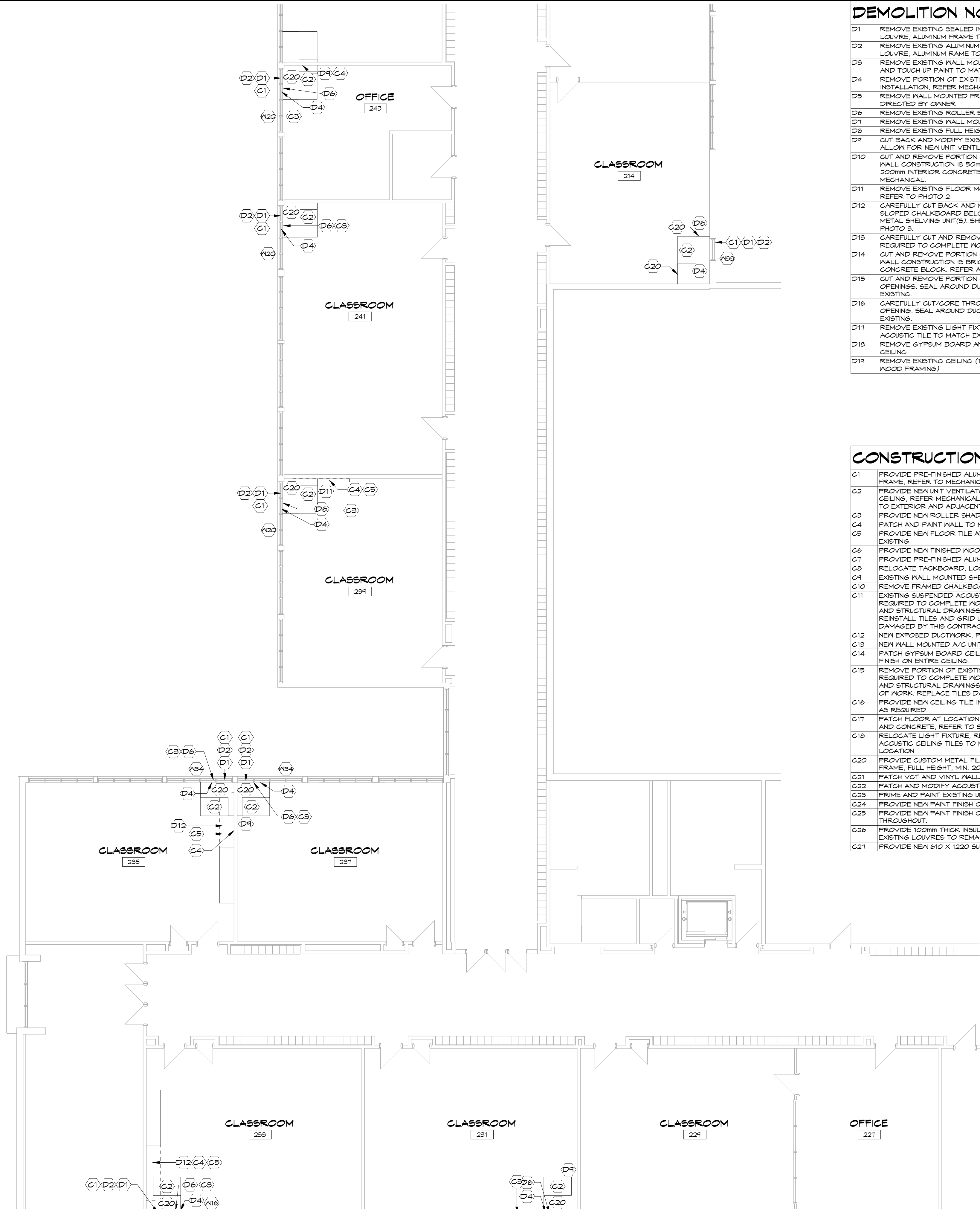


2

SECOND FLOOR - PART 1

SCALE: 1 : 100

0m 2m 4m 6m 8m 10m



1

SECOND FLOOR - PART 2

SCALE: 1 : 100

0m 2m 4m 6m 8m 10m

DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D2 REMOVE EXISTING ALUMINUM WINNING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D3 REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
- D4 REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION, REFER MECHANICAL
- D5 REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
- D6 REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
- D7 REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1
- D8 REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1
- D9 CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
- D10 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 50mm LIMESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL
- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
- D12 CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD, REFER PHOTO 3
- D13 CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK
- D14 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENEER 13mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL
- D15 CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING
- D16 CAREFULLY CUT/CORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING
- D17 REMOVE EXISTING LIGHT FIXTURE, REFER TO ELECTRICAL. PROVIDE NEW ACOUSTIC TILE TO MATCH EXISTING IN AREA OF REMOVAL
- D18 REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING
- D19 REMOVE EXISTING CEILING (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON WOOD FRAMING)

CONSTRUCTION NOTES

- C1 PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL
- C2 PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS
- C3 PROVIDE NEW ROLLER SHADE
- C4 PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS
- C5 PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING
- C6 PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN
- C7 PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL
- C8 RELOCATE TACKBOARD, LOCATION TBD
- C9 EXISTING WALL MOUNTED SHELF TO REMAIN
- C10 REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
- C11 EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN, REMOVE AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT
- C12 NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH. REFER TO MECHANICAL
- C13 NEW WALL MOUNTED A/C UNIT, REFER TO MECHANICAL
- C14 PATCH GYPSUM BOARD CEILING IN AREA OF REMOVALS, PROVIDE NEW PAINT FINISH ON ENTIRE CEILING
- C15 REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT
- C16 PROVIDE NEW CEILING TILE IN AREAS OF FAN REMOVALS AND REPLACEMENTS AS REQUIRED
- C17 PATCH FLOOR AT LOCATION OF MECHANICAL REMOVALS WITH STEEL DECK AND CONCRETE, REFER TO STRUCTURAL
- C18 RELOCATE LIGHT FIXTURE, REFER TO ELECTRICAL. ALLOW FOR 2 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION LOCATION
- C20 PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR
- C21 PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING
- C22 PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS
- C23 PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT
- C24 PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING
- C25 PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT
- C26 PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN, SEAL AND MAKE WEATHERTIGHT
- C27 PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID

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PROJECT

TISS - MECHANICAL
REPLACEMENT
2510 PARKEDALE AVE., BROCKVILLE,
ON

DRAWING

SECOND FLOOR PLAN - PART 1
AND PART 2

SCALE

1 : 100

PROFESSIONAL SEAL

CONSTRUCTION NOTES

- C1 PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL.
- C2 PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS.
- C3 PROVIDE NEW ROLLER SHADE
- C4 PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS
- C5 PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING
- C6 PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN
- C7 PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL
- C8 RELOCATE TACKBOARD, LOCATION TBD
- C9 EXISTING WALL MOUNTED SHELF TO REMAIN
- C10 REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
- C11 EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN, REMOVE AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
- C12 NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH, REFER TO MECHANICAL.
- C13 NEW WALL MOUNTED A/G UNIT, REFER TO MECHANICAL.
- C14 PATCH GYPSUM BOARD CEILING IN AREA OF REMOVALS, PROVIDE NEW PAINT FINISH ON ENTIRE CEILING.
- C15 REMOVE PORTION OF EXISTING SUSPENDED TEGUM TILE AND GRID AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
- C16 PROVIDE NEW CEILING TILE IN AREAS OF FAN REMOVALS AND REPLACEMENTS AS REQUIRED.
- C17 PATCH FLOOR AT LOCATION OF MECHANICAL REMOVALS WITH STEEL DECK AND CONCRETE, REFER TO STRUCTURAL
- C18 RELOCATE LIGHT FIXTURE, REFER TO ELECTRICAL. ALLOW FOR 2 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION
- C20 PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR
- C21 PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING
- C22 PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS
- C23 PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
- C24 PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING
- C25 PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
- C26 PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN, SEAL AND MAKE WEATHERTIGHT.
- C27 PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID

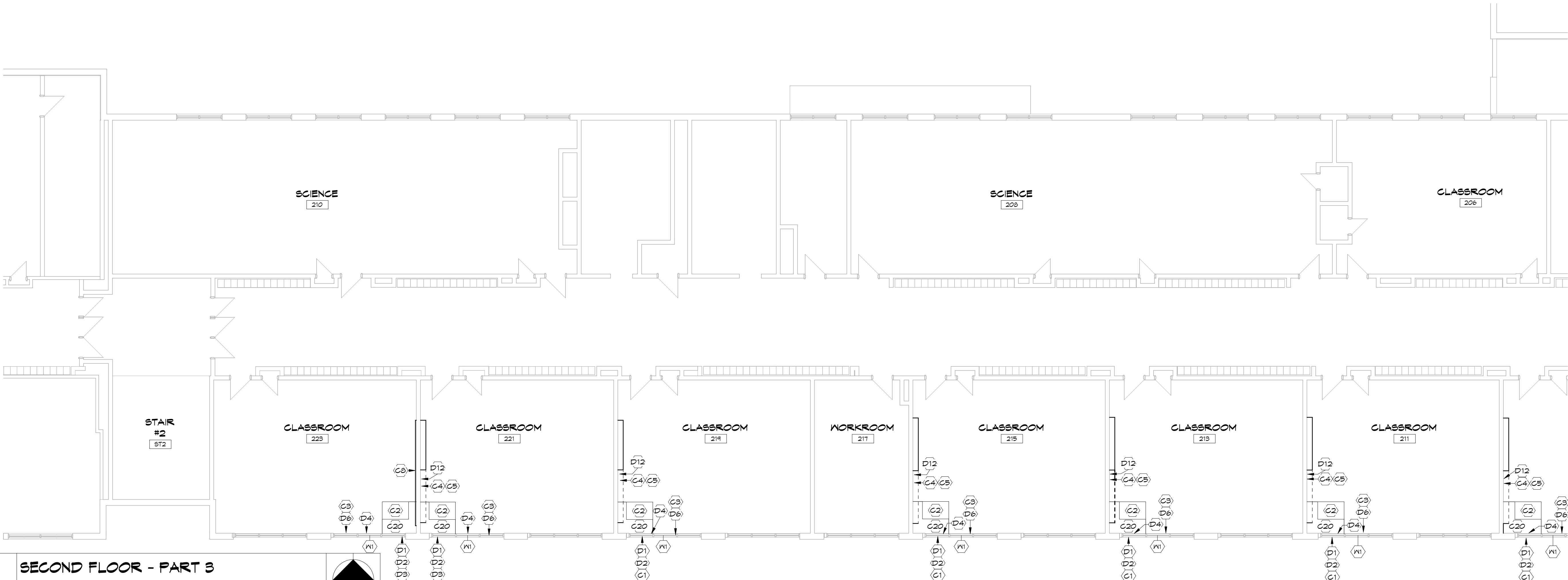
DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D2 REMOVE EXISTING ALUMINUM ANNING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D3 REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
- D4 REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION, REFER MECHANICAL
- D5 REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
- D6 REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
- D7 REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1
- D8 REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1
- D9 CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
- D10 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 50mm LESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
- D12 CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD, REFER PHOTO 3.
- D13 CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK.
- D14 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENEER 13mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
- D15 CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS, SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
- D16 CAREFULLY CUT/CORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
- D17 REMOVE EXISTING LIGHT FIXTURE, REFER TO ELECTRICAL. PROVIDE NEW ACOUSTIC TILE TO MATCH EXISTING IN AREA OF REMOVAL
- D18 REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING
- D19 REMOVE EXISTING CEILING (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON WOOD FRAMING)

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PROJECT

TISS - MECHANICAL REPLACEMENT

2510 PARKEDALE AVE., BROCKVILLE, ON

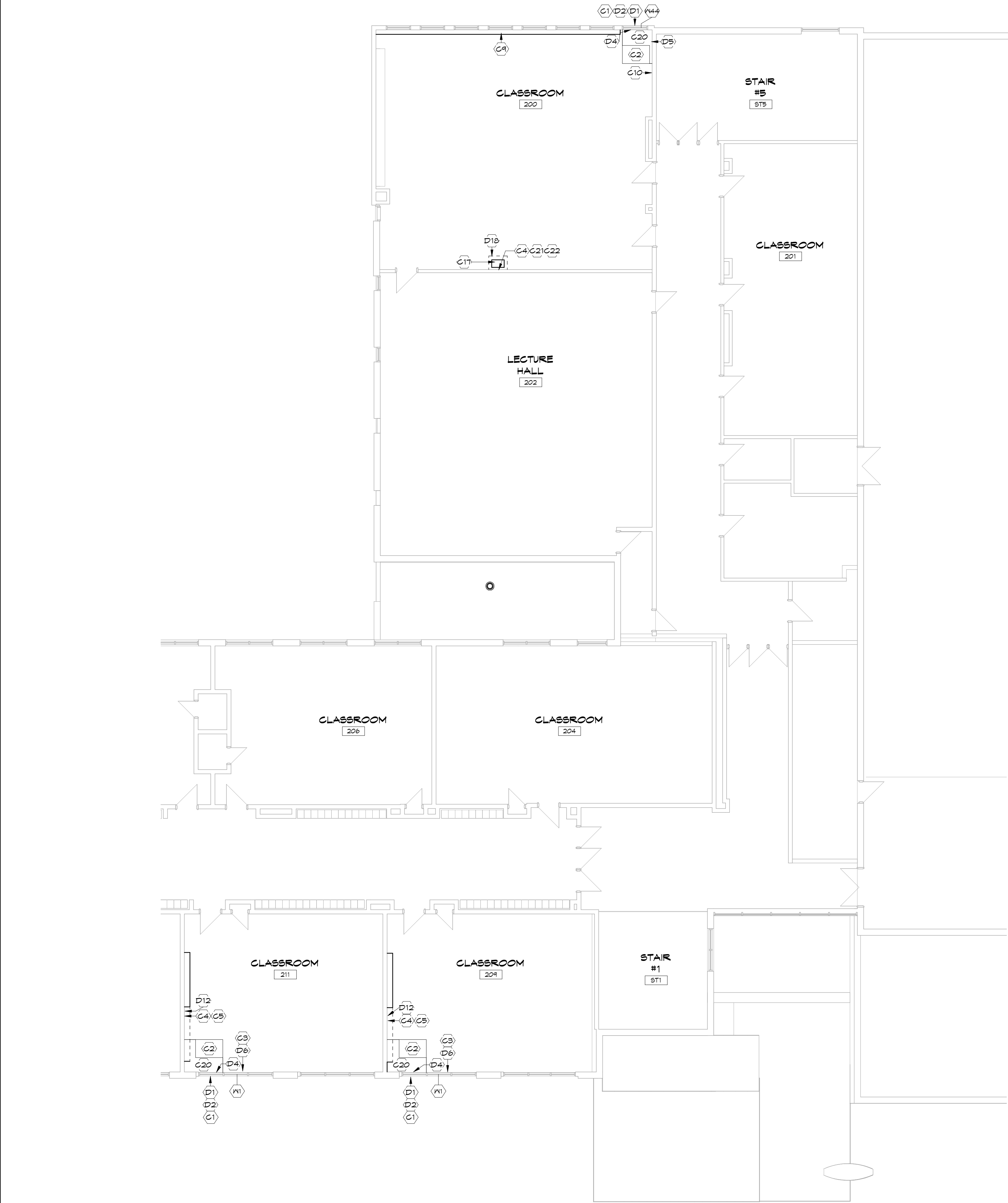
DRAWING

SECOND FLOOR PLAN - PART 3

SCALE

1 : 100

PROFESSIONAL SEAL	DRAWN	DATE
	ZB/MY	
CHECKED	LS	PRINTED
REVIEWED	TC	DRAWING No.
PROJECT No.	4157	
24078		312
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1

SECOND FLOOR - PART 4

SCALE:

0m2m4m6m8m10m

1 : 100

N

DEMOLITION NOTES	
D1	REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
D2	REMOVE EXISTING ALUMINUM WINNING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
D3	REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
D4	REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION, REFER MECHANICAL
D5	REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
D6	REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
D7	REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1
D8	REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1
D9	CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
D10	CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 50mm LIMESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL
D11	REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
D12	CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW. PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD. REFER PHOTO 3.
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D14	CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENEER 13mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL
D15	CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
D16	CAREFULLY CUT/CORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
D17	REMOVE EXISTING LIGHT FIXTURE, REFER TO ELECTRICAL. PROVIDE NEW ACOUSTIC TILE TO MATCH EXISTING IN AREA OF REMOVAL.
D18	REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING
D19	REMOVE EXISTING CEILING (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON WOOD FRAMING)

CONSTRUCTION NOTES	
C1	PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL
C2	PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING. REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS
C3	PROVIDE NEW ROLLER SHADE
C4	PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS
C5	PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING
C6	PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN
C7	PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL
C8	RELOCATE TACKBOARD, LOCATION TBD
C9	EXISTING WALL MOUNTED SHELF TO REMAIN
C10	REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
C11	EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN. REMOVE AS REQUIRED TO COMPLETE WORK. REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLCE TILES DAMAGED BY THIS CONTRACT.
C12	NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH, REFER TO MECHANICAL
C13	NEW WALL MOUNTED A/C UNIT, REFER TO MECHANICAL
C14	PATCH GYPSUM BOARD CEILING IN AREA OF REMOVALS, PROVIDE NEW PAINT FINISH ON ENTIRE CEILING.
C15	REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK. REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
C16	PROVIDE NEW CEILING TILE IN AREAS OF FAN REMOVALS AND REPLACEMENTS AS REQUIRED.
C17	PATCH FLOOR AT LOCATION OF MECHANICAL REMOVALS WITH STEEL DECK AND CONCRETE, REFER TO STRUCTURAL.
C18	RELOCATE LIGHT FIXTURE, REFER TO ELECTRICAL. ALLOW FOR 3 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION LOCATION
C20	PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR
C21	PATCH VCT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING
C22	PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS
C23	PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C24	PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING
C25	PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C26	PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN, SEAL AND MAKE WEATHERTIGHT.
C27	PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID

NOTES

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COLBOURNE & KEMBEL,
ARCHITECTS INC.

7350 ARLINGTON PARK PLACE
KINGSTON, ONTARIO K7M 6M6
TEL 613-384-2240 FAX 613-384-1271
info@ckai.ca www.ckai.ca

PROJECT

TISS - MECHANICAL
REPLACEMENT
2510 PARKEDALE AVE., BROCKVILLE,
ON

DRAWING

SECOND FLOOR PLAN - PART 4

SCALE

1 : 100

PROFESSIONAL SEAL

TODD M. COLBOURNE
4157

DRAWN

ZB/MY

CHECKED

LS

REVIEWED

TC

PROJECT No.

24078

DATE

PRINTED

DRAWING No.

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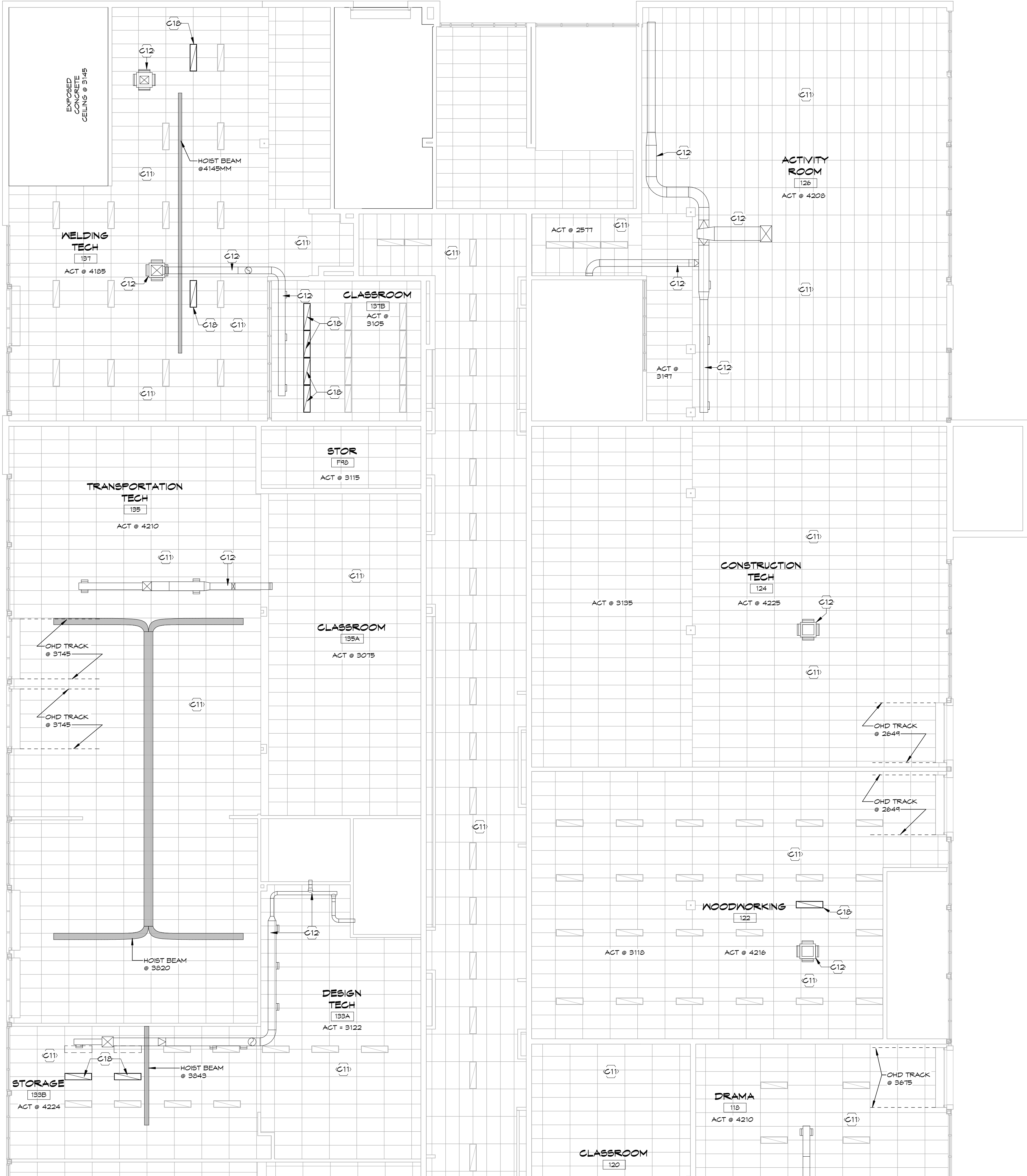
313

DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D2 REMOVE EXISTING ALUMINUM WINING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D3 REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
- D4 REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION, REFER MECHANICAL
- D5 REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
- D6 REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
- D7 REMOVE EXISTING WALL MOUNTED MOOD SHELVING, REFER TO PHOTO 1
- D8 REMOVE EXISTING FULL HEIGHT MOOD STORAGE CABINET, REFER TO PHOTO 1
- D9 CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
- D10 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 50mm LIMESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
- D12 CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD. REFER PHOTO 3.
- D13 CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK.
- D14 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENEER 13mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL
- D15 CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS, SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
- D16 CAREFULLY CUT/CORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
- D17 REMOVE EXISTING LIGHT FIXTURE, REFER TO ELECTRICAL. PROVIDE NEW ACOUSTIC TILE TO MATCH EXISTING IN AREA OF REMOVAL.
- D18 REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING
- D19 REMOVE EXISTING CEILING (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON MOOD FRAMING)

CONSTRUCTION NOTES

- C1 PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL
- C2 PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL. NEW U/V TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS
- C3 PROVIDE NEW ROLLER SHADE
- C4 PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS
- C5 PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING
- C6 PROVIDE NEW FINISHED MOOD END PANEL ON EXISTING CABINETS TO MATCH EXISTING
- C7 PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL
- C8 RELOCATE TACKBOARD, LOCATION TBD
- C9 EXISTING WALL MOUNTED SHELF TO REMAIN
- C10 REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
- C11 EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN, REMOVE AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
- C12 NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH. REFER TO MECHANICAL.
- C13 NEW WALL MOUNTED A/C UNIT, REFER TO MECHANICAL.
- C14 PATCH GYPSUM BOARD CEILINGS IN AREA OF REMOVALS, PROVIDE NEW PAINT FINISH ON ENTIRE CEILING.
- C15 REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
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- C18 RELOCATE LIGHT FIXTURE, REFER TO ELECTRICAL. ALLOW FOR 2 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION LOCATION
- C20 PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR
- C21 PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING
- C22 PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS
- C23 PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
- C24 PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING
- C25 PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
- C26 PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN. SEAL AND MAKE WEATHERTIGHT.
- C27 PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID



1 GROUND FLOOR REFLECTED CEILING PLAN PART 1

SCALE: 1 : 100

0m 2m 4m 6m 8m 10m

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 COLBOURNE & KEMBEL, ARCHITECTS INC.

1350 ARLINGTON PARK PLACE
KINGSTON, ONTARIO K7M 6M6
TEL 613-384-2240 FAX 613-384-1271
info@ckai.ca www.ckai.ca

PROJECT

TISS - MECHANICAL REPLACEMENT

2510 PARKEDALE AVE., BROCKVILLE, ON

DRAWING

GROUND FLOOR REFLECTED CEILING PLAN PART 1

SCALE

1 : 100

PROFESSIONAL SEAL	DRAWN	DATE
	ZB/MY	
CHECKED	LS	PRINTED
REVIEWED	TC	DRAWING NO.
PROJECT NO.	4157	
	24078	314

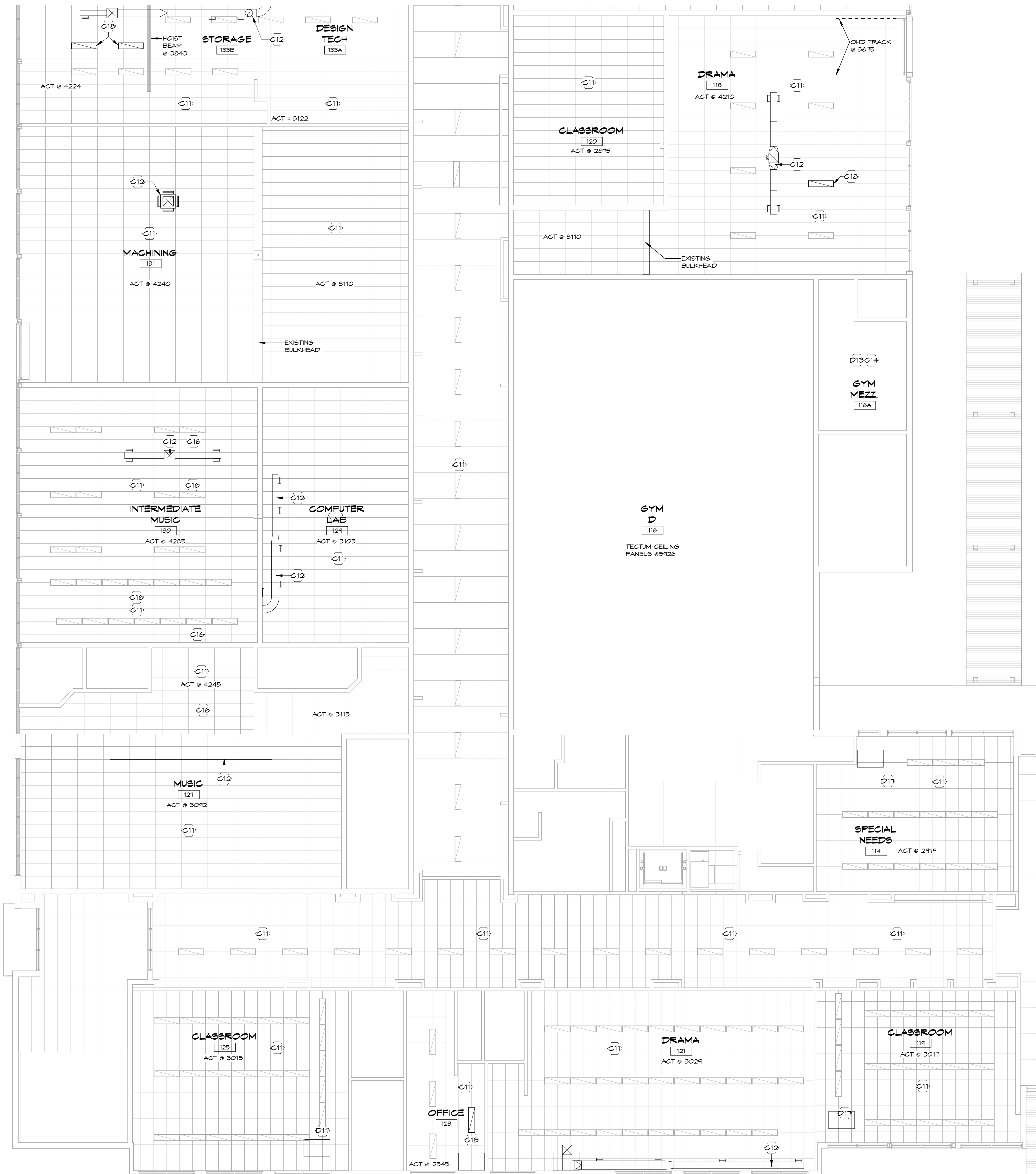
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DEMOLITION NOTES

D1	REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
D2	REMOVE EXISTING ALUMINUM ANNING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
D3	REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
D4	REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION, REFER MECHANICAL
D5	REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
D6	REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
D7	REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1
D8	REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1
D9	CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
D10	CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 80mm Limestone EXTERIOR, 15mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
D11	REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
D12	CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD. REFER PHOTO 3.
D13	CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK.
D14	CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENEER 15mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
D15	CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
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CONSTRUCTION NOTES

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C6	PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN
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C8	RELOCATE TACKBOARD, LOCATION TBD
C9	EXISTING WALL MOUNTED SHELF TO REMAIN
C10	REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
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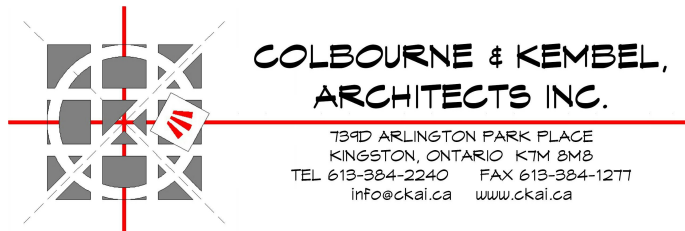


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NO.	BY	REVISIONS/SUBMISSIONS	DATE



PROJECT
TISS - MECHANICAL REPLACEMENT
2510 PARKEDALE AVE., BROCKVILLE, ON

DRAWING
GROUND FLOOR REFLECTED CEILING PLAN PART 2

SCALE
1 : 100

PROFESSIONAL SEAL ONTARIO ASSOCIATION OF ARCHITECTS TODD M. COLBOURNE LICENCE 4157 NOT FOR PERMIT OR CONSTRUCTION WITHOUT SEAL AND ISSUED NOTE	DRAWN ZB/MY CHECKED LS REVIEWED TC PROJECT No. 24078	DATE PRINTED DRAWING No. 315
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DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D2 REMOVE EXISTING ALUMINUM AINING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM RAME TO REMAIN
- D3 REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
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- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
- D12 CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND BLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S), SHELVES TO BE RELOCATED, LOCATION TBD. REFER PHOTO 3.
- D13 CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILINGS AS REQUIRED TO COMPLETE WORK.
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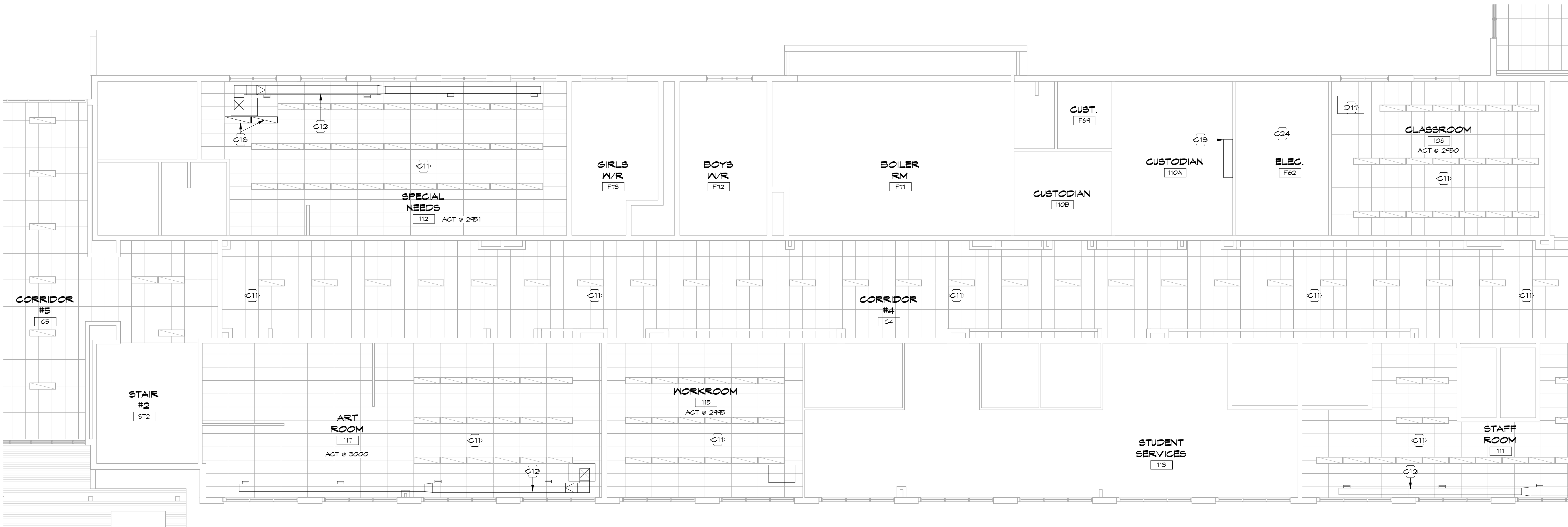
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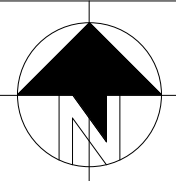
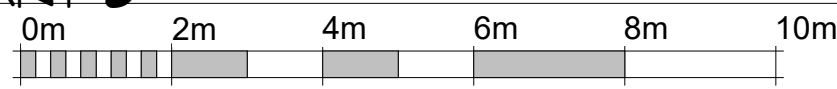
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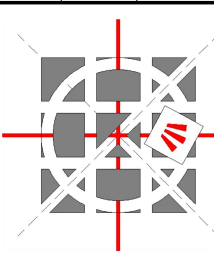
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GROUND FLOOR REFLECTED CEILING
PLAN PART 3

SCALE:
1 : 100



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**COLBOURNE & KEMBEL,
ARCHITECTS INC.**

1350 ARLINGTON PARK PLACE
KINGSTON, ONTARIO K7M 6M6
TEL 613-384-2240 FAX 613-384-1271
info@ckai.ca www.ckai.ca

PROJECT

**TISS - MECHANICAL
REPLACEMENT**

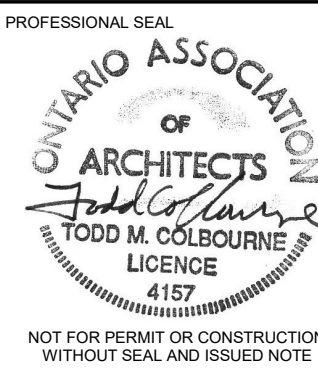
2510 PARKEDALE AVE., BROCKVILLE,
ON

DRAWING

**GROUND FLOOR REFLECTED
CEILING PLAN PART 3**

SCALE

1 : 100

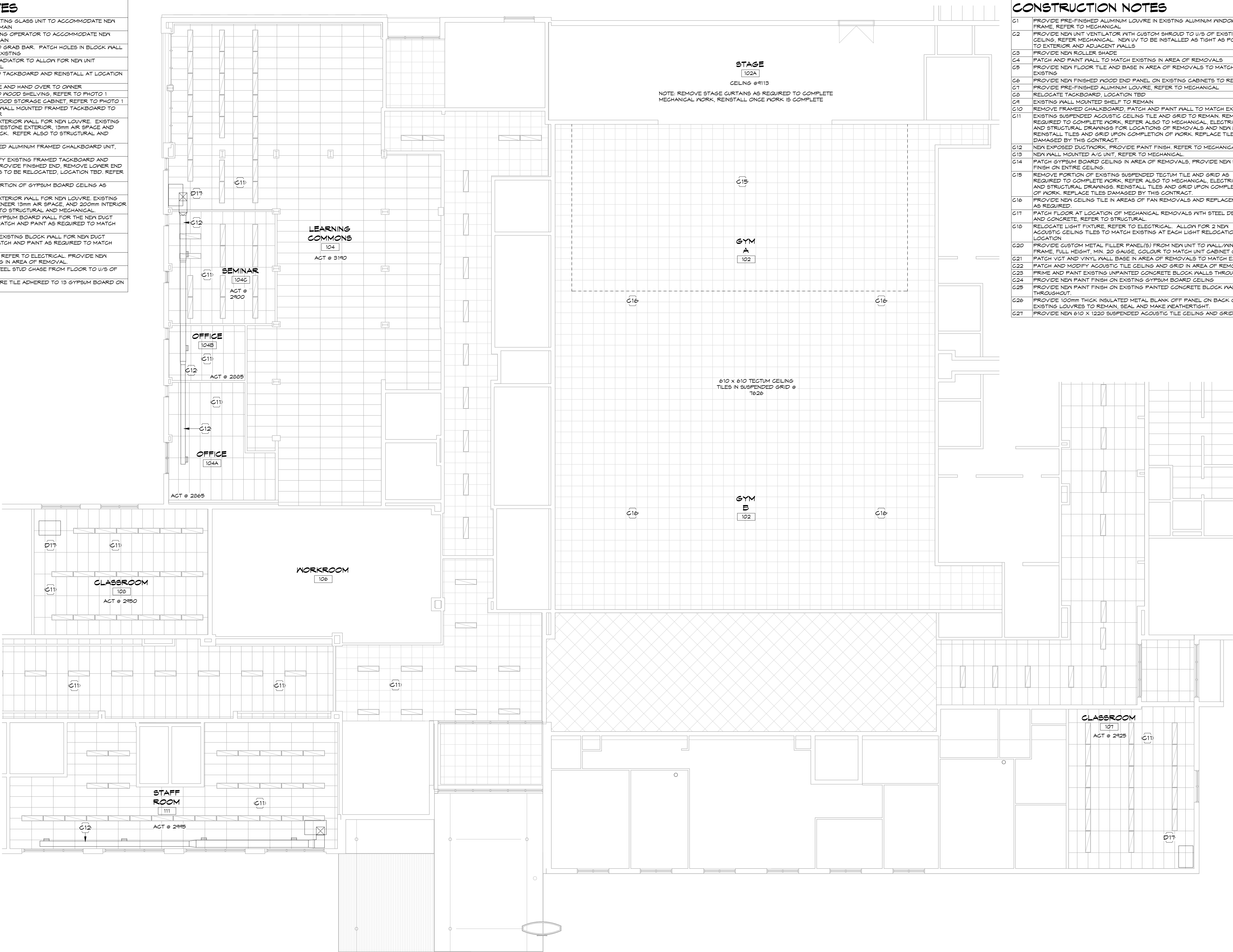


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REVIEWED	TC	DRAWING No.
PROJECT No.	4157	
	24078	316

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DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D2 REMOVE EXISTING ALUMINUM WINNING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
- D3 REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
- D4 REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION, REFER MECHANICAL
- D5 REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
- D6 REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
- D7 REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1
- D8 REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1
- D9 CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
- D10 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 50mm LIMESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL
- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
- D12 CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S), SHELVES TO BE RELOCATED, LOCATION TBD, REFER PHOTO 3.
- D13 CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK.
- D14 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENEER 13mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL
- D15 CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
- D16 CAREFULLY CUT/CORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
- D17 REMOVE EXISTING LIGHT FIXTURE, REFER TO ELECTRICAL. PROVIDE NEW ACOUSTIC TILE TO MATCH EXISTING IN AREA OF REMOVAL.
- D18 REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING
- D19 REMOVE EXISTING CEILING (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON WOOD FRAMING)



CONSTRUCTION NOTES

- C1 PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME. REFER TO MECHANICAL.
- C2 PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS
- C3 PROVIDE NEW ROLLER SHADE
- C4 PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS
- C5 PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING
- C6 PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN
- C7 PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL
- C8 RELOCATE TACKBOARD, LOCATION TBD
- C9 EXISTING WALL MOUNTED SHELF TO REMAIN
- C10 REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
- C11 EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN. REMOVE AS REQUIRED TO COMPLETE WORK. REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
- C12 NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH. REFER TO MECHANICAL.
- C13 NEW WALL MOUNTED A/C UNIT, REFER TO MECHANICAL
- C14 PATCH GYPSUM BOARD CEILING IN AREA OF REMOVALS, PROVIDE NEW PAINT FINISH ON ENTIRE CEILING.
- C15 REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK. REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK. REPLACE TILES DAMAGED BY THIS CONTRACT.
- C16 PROVIDE NEW CEILING TILE IN AREAS OF FAN REMOVALS AND REPLACEMENTS AS REQUIRED
- C17 PATCH FLOOR AT LOCATION OF MECHANICAL REMOVALS WITH STEEL DECK AND CONCRETE, REFER TO STRUCTURAL
- C18 RELOCATE LIGHT FIXTURE. REFER TO ELECTRICAL. ALLOW FOR 2 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION LOCATION
- C20 PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR
- C21 PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING
- C22 PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS
- C23 PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
- C24 PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING
- C25 PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
- C26 PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN, SEAL AND MAKE WEATHERTIGHT
- C27 PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID

NOTES

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PROJECT

TISS - MECHANICAL
REPLACEMENT
2510 PARKEDALE AVE., BROCKVILLE,
ON

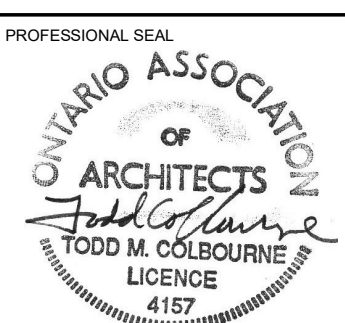
DRAWING

GROUND FLOOR REFLECTED
CEILING PLAN PART 4

SCALE

1 : 100

PROFESSIONAL SEAL



ONTARIO ASSOCIATION
OF
ARCHITECTS
TODD M. COLBOURNE
LICENCEE

DRAWN	ZB/MY	DATE
CHECKED	LS	PRINTED
REVIEWED	TC	DRAWING No.
PROJECT No.	4157	
24078		317

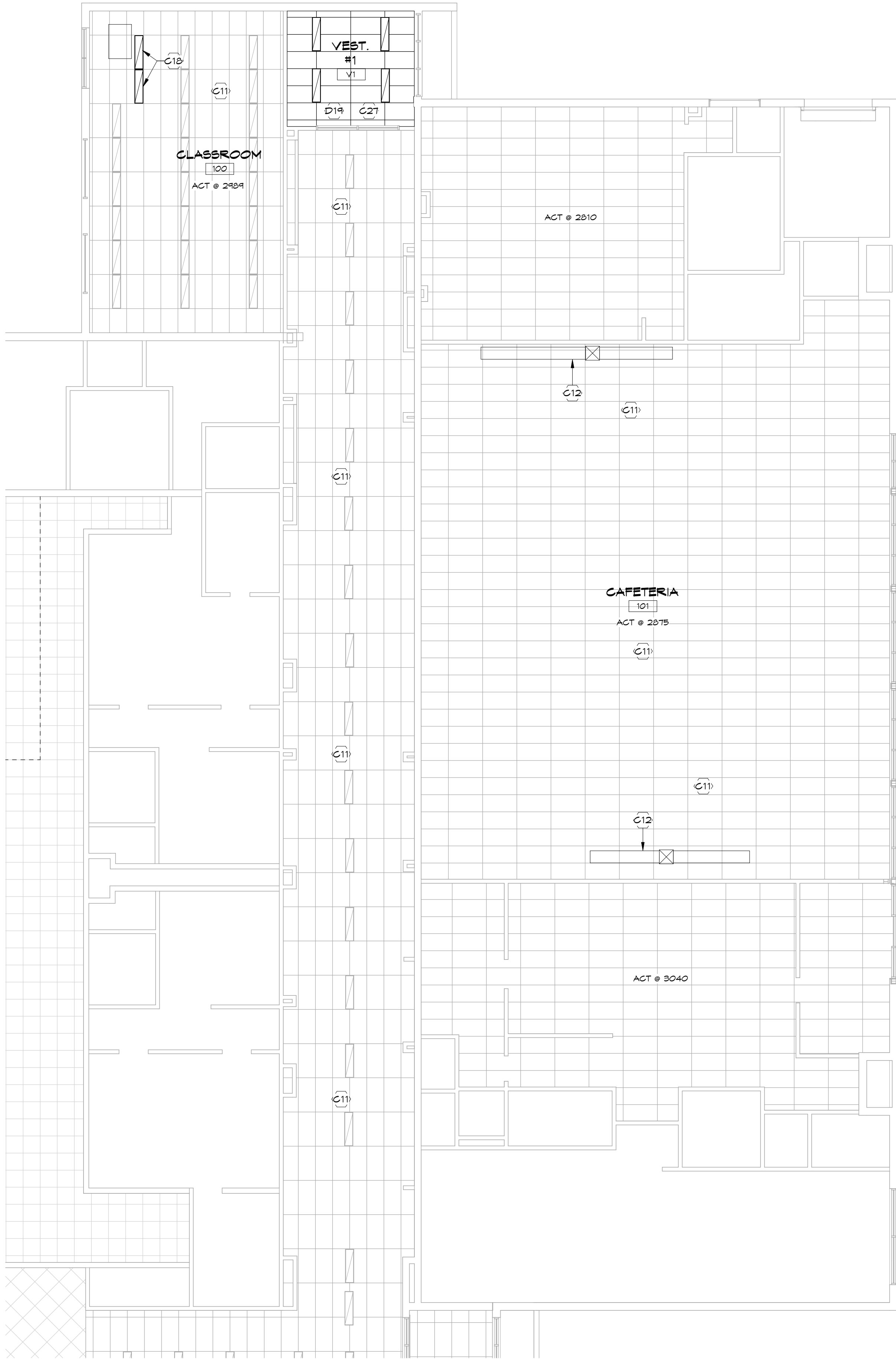
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WITHOUT SEAL AND ISSUED NOTE

DEMOLITION NOTES

D1	REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
D2	REMOVE EXISTING ALUMINUM AWNING OPERATOR TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
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D5	REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
D6	REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
D7	REMOVE EXISTING WALL MOUNTED WOOD SHELVING, REFER TO PHOTO 1
D8	REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET, REFER TO PHOTO 1
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D11	REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
D12	CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW, PROVIDE FINISHED END, REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED, LOCATION TBD. REFER PHOTO 3.
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D18	REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING
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CONSTRUCTION NOTES

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C2	PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL. NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS
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C4	PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS
C5	PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING
C6	PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN
C7	PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL
C8	RELOCATE TACKBOARD, LOCATION TBD
C9	EXISTING WALL MOUNTED SHELF TO REMAIN
C10	REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
C11	EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN, REMOVE AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK, REPLACE TILES DAMAGED BY THIS CONTRACT.
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C13	NEW WALL MOUNTED A/C UNIT, REFER TO MECHANICAL.
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C15	REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. REINSTALL TILES AND GRID UPON COMPLETION OF WORK, REPLACE TILES DAMAGED BY THIS CONTRACT.
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C20	PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR
C21	PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING
C22	PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS
C23	PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C24	PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING
C25	PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C26	PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN, SEAL AND MAKE WEATHERTIGHT.
C27	PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID



1

GROUND FLOOR REFLECTED CEILING
PLANS PART 5

SCALE:
1 : 100

0m 2m 4m 6m 8m 10m

NOTES

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NO.	BY	REVISIONS/SUBMISSIONS	DATE

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PROJECT

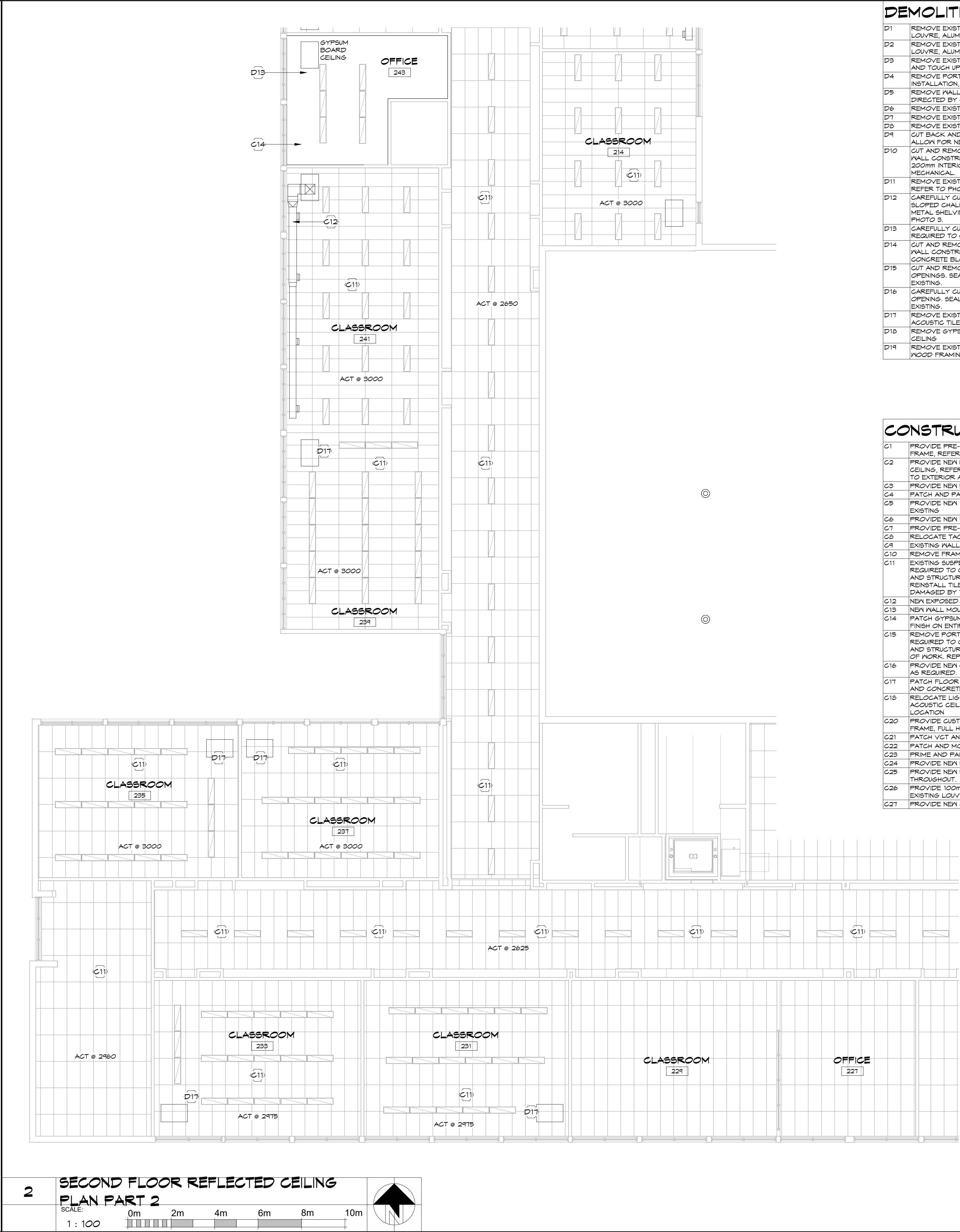
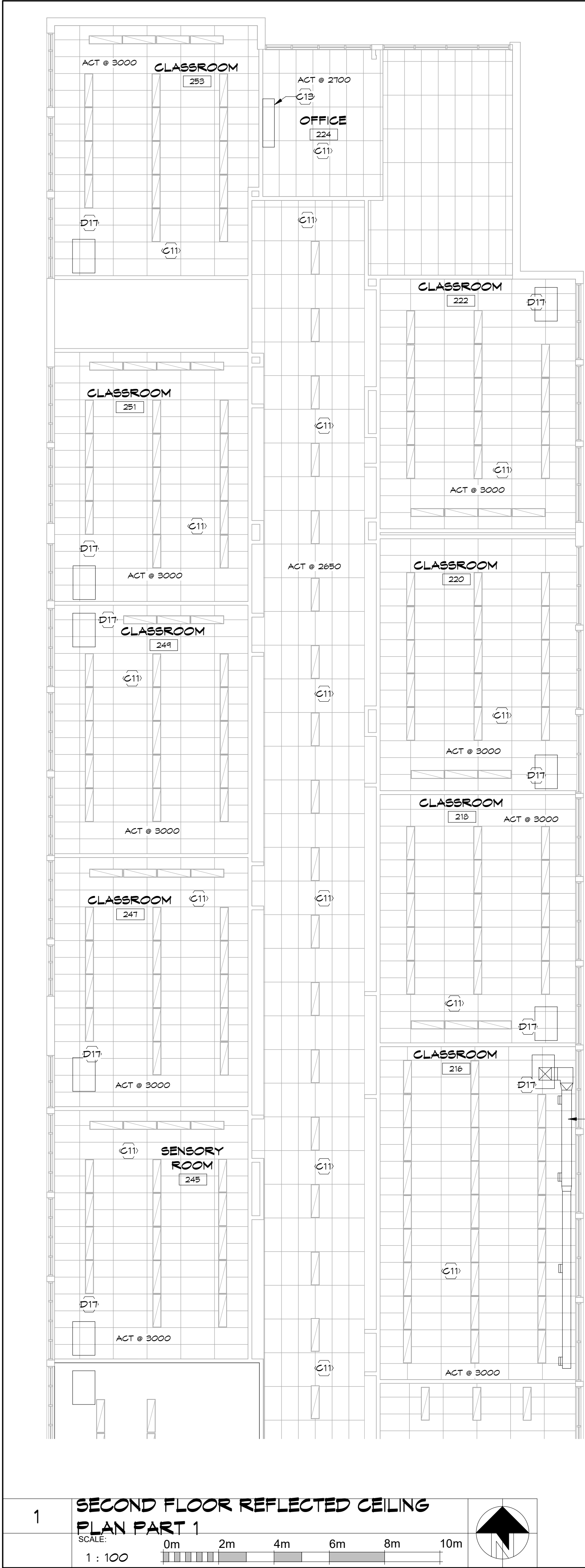
**TISS - MECHANICAL
REPLACEMENT**

2510 PARKDALE AVE., BROCKVILLE,
ON

DRAWING

**GROUND FLOOR REFLECTED
CEILING PLAN PART 5**

SCALE 1 : 100	PROFESSIONAL SEAL 	DRAWN ZB/MY	DATE
		CHECKED LS	PRINTED
		REVIEWED TC	DRAWING No.
		PROJECT No. 4157 24078	318
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DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE, ALUMINUM FRAME TO REMAIN
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- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT, REFER TO PHOTO 2
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- D15 CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING
- D16 CAREFULLY CUT/GORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT, PATCH AND PAINT AS REQUIRED TO MATCH EXISTING
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CONSTRUCTION NOTES

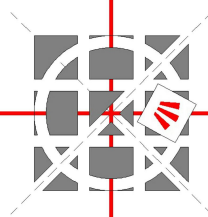
- C1 PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL
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- C12 NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH, REFER TO MECHANICAL
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NO.	BY	REVISIONS/SUBMISSIONS	DATE

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PROJECT

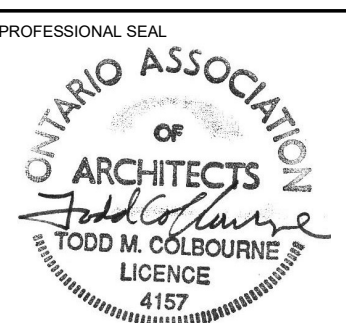
TISS - MECHANICAL REPLACEMENT
2510 PARKEDALE AVE., BROCKVILLE, ON

DRAWING

SECOND FLOOR REFLECTED CEILING PLAN PART 1 & 2

SCALE

1 : 100

PROFESSIONAL SEAL	DRAWN	DATE
	ZB/MY	
CHECKED	LS	PRINTED
REVIEWED	TC	DRAWING NO.
PROJECT NO.	4157	
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CONSTRUCTION NOTES

- C1 PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME. REFER TO MECHANICAL.
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- C26 PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN. SEAL AND MAKE WEATHERTIGHT.
- C27 PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID

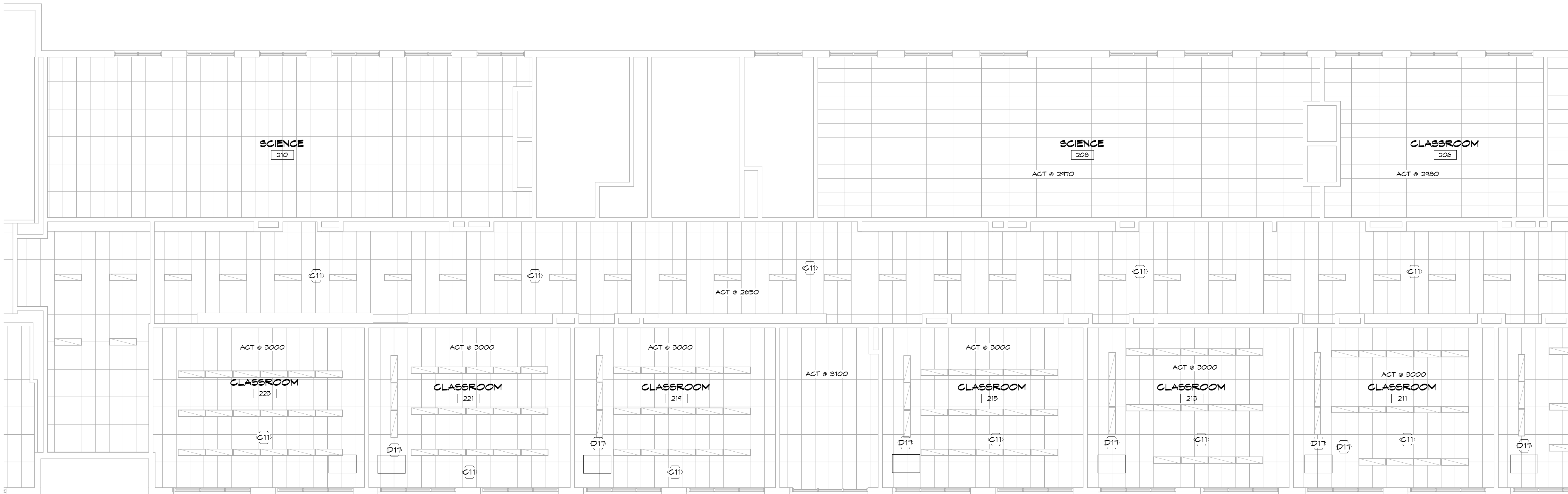
DEMOLITION NOTES

- D1 REMOVE EXISTING SEALED INSULATING GLASS UNIT TO ACCOMMODATE NEW LOUVRE. ALUMINUM FRAME TO REMAIN
- D2 REMOVE EXISTING ALUMINUM WINING OPERATOR TO ACCOMMODATE NEW LOUVRE. ALUMINUM FRAME TO REMAIN
- D3 REMOVE EXISTING WALL MOUNTED GRAB BAR. PATCH HOLES IN BLOCK WALL AND TOUCH UP PAINT TO MATCH EXISTING
- D4 REMOVE PORTION OF EXISTING RADIATOR TO ALLOW FOR NEW UNIT INSTALLATION. REFER MECHANICAL
- D5 REMOVE WALL MOUNTED FRAMED TACKBOARD AND REINSTALL AT LOCATION DIRECTED BY OWNER
- D6 REMOVE EXISTING ROLLER SHADE AND HAND OVER TO OWNER
- D7 REMOVE EXISTING WALL MOUNTED WOOD SHELVING. REFER TO PHOTO 1
- D8 REMOVE EXISTING FULL HEIGHT WOOD STORAGE CABINET. REFER TO PHOTO 1
- D9 CUT BACK AND MODIFY EXISTING WALL MOUNTED FRAMED TACKBOARD TO ALLOW FOR NEW UNIT VENTILATOR
- D10 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS 50mm LIMESTONE EXTERIOR, 13mm AIR SPACE AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
- D11 REMOVE EXISTING FLOOR MOUNTED ALUMINUM FRAMED CHALKBOARD UNIT. REFER TO PHOTO 2
- D12 CAREFULLY CUT BACK AND MODIFY EXISTING FRAMED TACKBOARD AND SLOPED CHALKBOARD BELOW. PROVIDE FINISHED END. REMOVE LOWER END METAL SHELVING UNIT(S). SHELVES TO BE RELOCATED. LOCATION TBD. REFER PHOTO 3.
- D13 CAREFULLY CUT AND REMOVE PORTION OF GYPSUM BOARD CEILING AS REQUIRED TO COMPLETE WORK.
- D14 CUT AND REMOVE PORTION OF EXTERIOR WALL FOR NEW LOUVRE. EXISTING WALL CONSTRUCTION IS BRICK VENEER 13mm AIR SPACE, AND 200mm INTERIOR CONCRETE BLOCK. REFER ALSO TO STRUCTURAL AND MECHANICAL.
- D15 CUT AND REMOVE PORTION OF GYPSUM BOARD WALL FOR THE NEW DUCT OPENINGS. SEAL AROUND DUCT. PATCH AND PAINT AS REQUIRED TO MATCH EXISTING
- D16 CAREFULLY CUT/GORE THROUGH EXISTING BLOCK WALL FOR NEW DUCT OPENING. SEAL AROUND DUCT. PATCH AND PAINT AS REQUIRED TO MATCH EXISTING.
- D17 REMOVE EXISTING LIGHT FIXTURE. REFER TO ELECTRICAL. PROVIDE NEW ACOUSTIC TILE TO MATCH EXISTING IN AREA OF REMOVAL
- D18 REMOVE GYPSUM BOARD AND STEEL STUD CHASE FROM FLOOR TO U/S OF CEILING
- D19 REMOVE EXISTING CEILING (13 FIBRE TILE ADHERED TO 13 GYPSUM BOARD ON WOOD FRAMING)

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1

SECOND FLOOR REFLECTED CEILING
PLAN PART 3

SCALE:
1 : 100

0m 2m 4m 6m 8m 10m

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NO.	BY	REVISIONS/SUBMISSIONS	DATE

COLBOURNE & KEMBEL,
ARCHITECTS INC.

1350 ARLINGTON PARK PLACE
KINGSTON, ONTARIO K7M 6M5
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PROJECT

TISS - MECHANICAL REPLACEMENT

2510 PARKEDALE AVE., BROCKVILLE, ON

DRAWING

SECOND FLOOR REFLECTED CEILING PLAN PART 3

SCALE

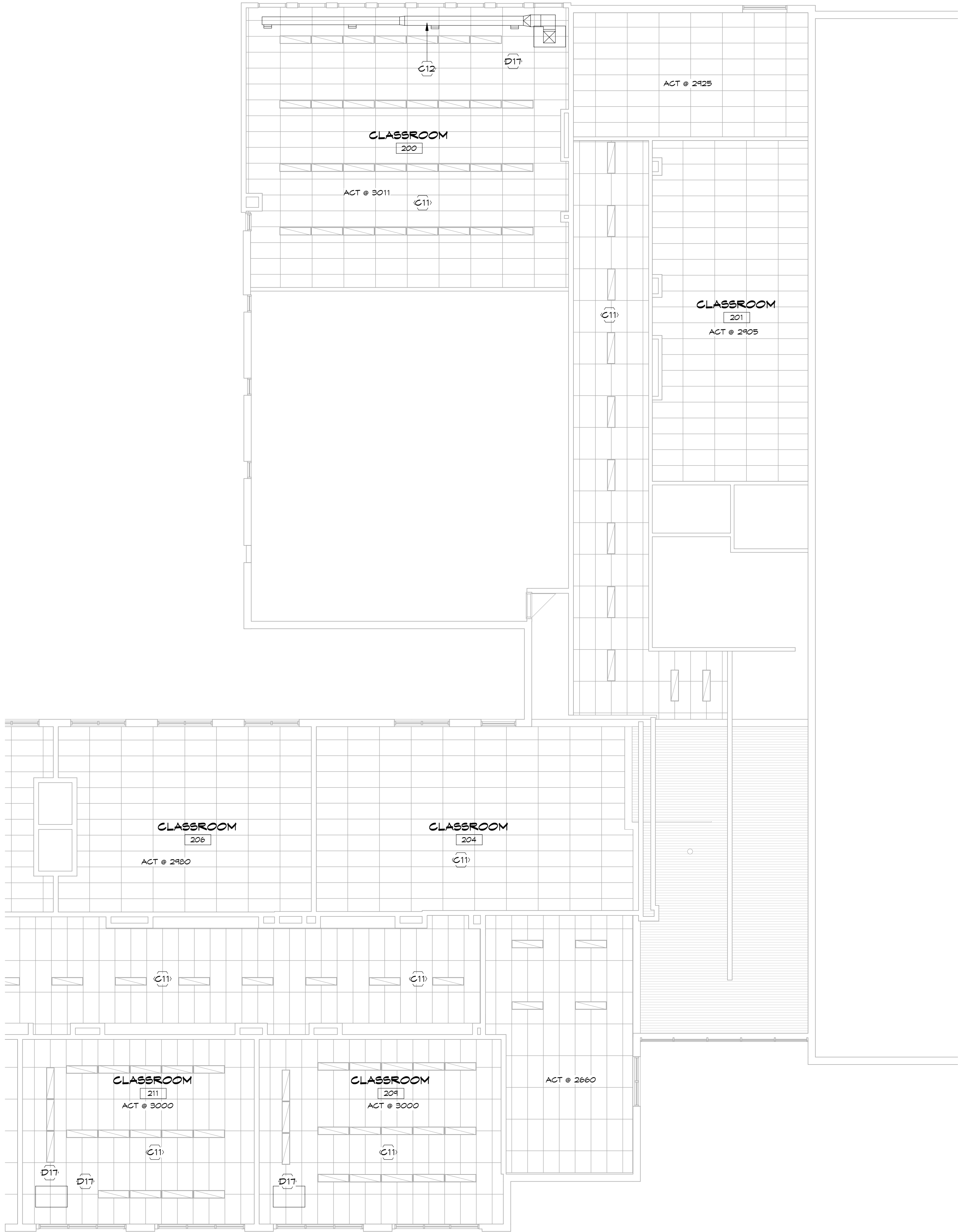
1 : 100

PROFESSIONAL SEAL

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PROJECT No.	4157	
	24078	320



CONSTRUCTION NOTES	
C1	PROVIDE PRE-FINISHED ALUMINUM LOUVRE IN EXISTING ALUMINUM WINDOW FRAME, REFER TO MECHANICAL
C2	PROVIDE NEW UNIT VENTILATOR WITH CUSTOM SHROUD TO U/S OF EXISTING CEILING, REFER MECHANICAL, NEW UV TO BE INSTALLED AS TIGHT AS POSSIBLE TO EXTERIOR AND ADJACENT WALLS
C3	PROVIDE NEW ROLLER SHADE
C4	PATCH AND PAINT WALL TO MATCH EXISTING IN AREA OF REMOVALS
C5	PROVIDE NEW FLOOR TILE AND BASE IN AREA OF REMOVALS TO MATCH EXISTING
C6	PROVIDE NEW FINISHED WOOD END PANEL ON EXISTING CABINETS TO REMAIN
C7	PROVIDE PRE-FINISHED ALUMINUM LOUVRE, REFER TO MECHANICAL
C8	RELOCATE TACKBOARD, LOCATION TBD
C9	EXISTING WALL MOUNTED SHELF TO REMAIN
C10	REMOVE FRAMED CHALKBOARD, PATCH AND PAINT WALL TO MATCH EXISTING
C11	EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN, REMOVE AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR LOCATIONS OF REMOVALS AND NEW WORK. REINSTALL TILES AND GRID UPON COMPLETION OF WORK, REPLACE TILES DAMAGED BY THIS CONTRACT.
C12	NEW EXPOSED DUCTWORK, PROVIDE PAINT FINISH, REFER TO MECHANICAL.
C13	NEW WALL MOUNTED A/G UNIT, REFER TO MECHANICAL.
C14	PATCH GYPSUM BOARD CEILING IN AREA OF REMOVALS, PROVIDE NEW PAINT FINISH ON ENTIRE CEILING.
C15	REMOVE PORTION OF EXISTING SUSPENDED TECTUM TILE AND GRID AS REQUIRED TO COMPLETE WORK, REFER ALSO TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS, REINSTALL TILES AND GRID UPON COMPLETION OF WORK, REPLACE TILES DAMAGED BY THIS CONTRACT.
C16	PROVIDE NEW CEILING TILE IN AREAS OF FAN REMOVALS AND REPLACEMENTS AS REQUIRED.
C17	PATCH FLOOR AT LOCATION OF MECHANICAL REMOVALS WITH STEEL DECK AND CONCRETE, REFER TO STRUCTURAL
C18	RELOCATE LIGHT FIXTURE, REFER TO ELECTRICAL, ALLOW FOR 2 NEW ACOUSTIC CEILING TILES TO MATCH EXISTING AT EACH LIGHT RELOCATION LOCATION
C20	PROVIDE CUSTOM METAL FILLER PANEL(S) FROM NEW UNIT TO WALL/WINDOW FRAME, FULL HEIGHT, MIN. 20 GAUGE, COLOUR TO MATCH UNIT CABINET COLOUR
C21	PATCH VGT AND VINYL WALL BASE IN AREA OF REMOVALS TO MATCH EXISTING
C22	PATCH AND MODIFY ACOUSTIC TILE CEILING AND GRID IN AREA OF REMOVALS
C23	PRIME AND PAINT EXISTING UNPAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C24	PROVIDE NEW PAINT FINISH ON EXISTING GYPSUM BOARD CEILING
C25	PROVIDE NEW PAINT FINISH ON EXISTING PAINTED CONCRETE BLOCK WALLS THROUGHOUT.
C26	PROVIDE 100mm THICK INSULATED METAL BLANK OFF PANEL ON BACK OF EXISTING LOUVRES TO REMAIN, SEAL AND MAKE WEATHERTIGHT.
C27	PROVIDE NEW 610 X 1220 SUSPENDED ACOUSTIC TILE CEILING AND GRID

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PROJECT

**TISS - MECHANICAL
REPLACEMENT**

2510 PARKEDALE AVE., BROCKVILLE,
ON

DRAWING

**SECOND FLOOR REFLECTED
CEILING PLAN PART 4**

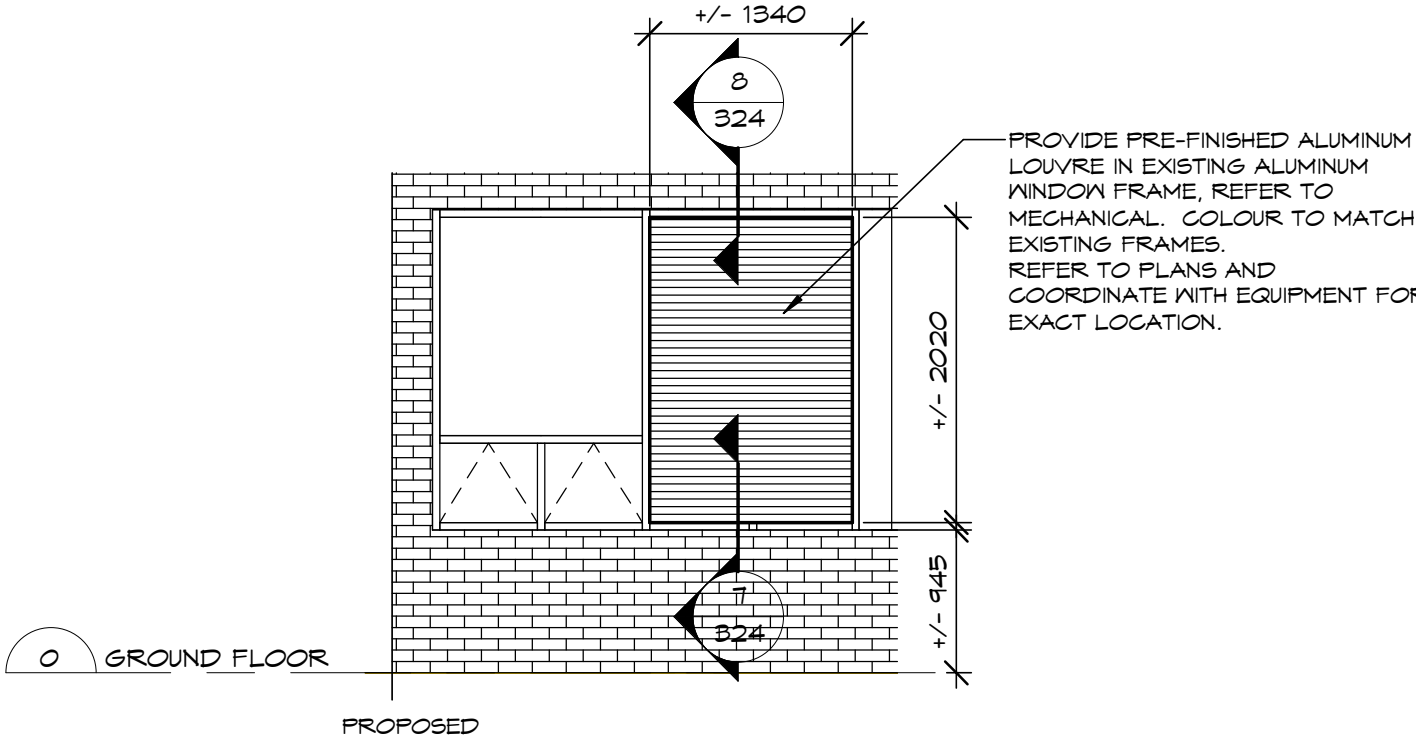
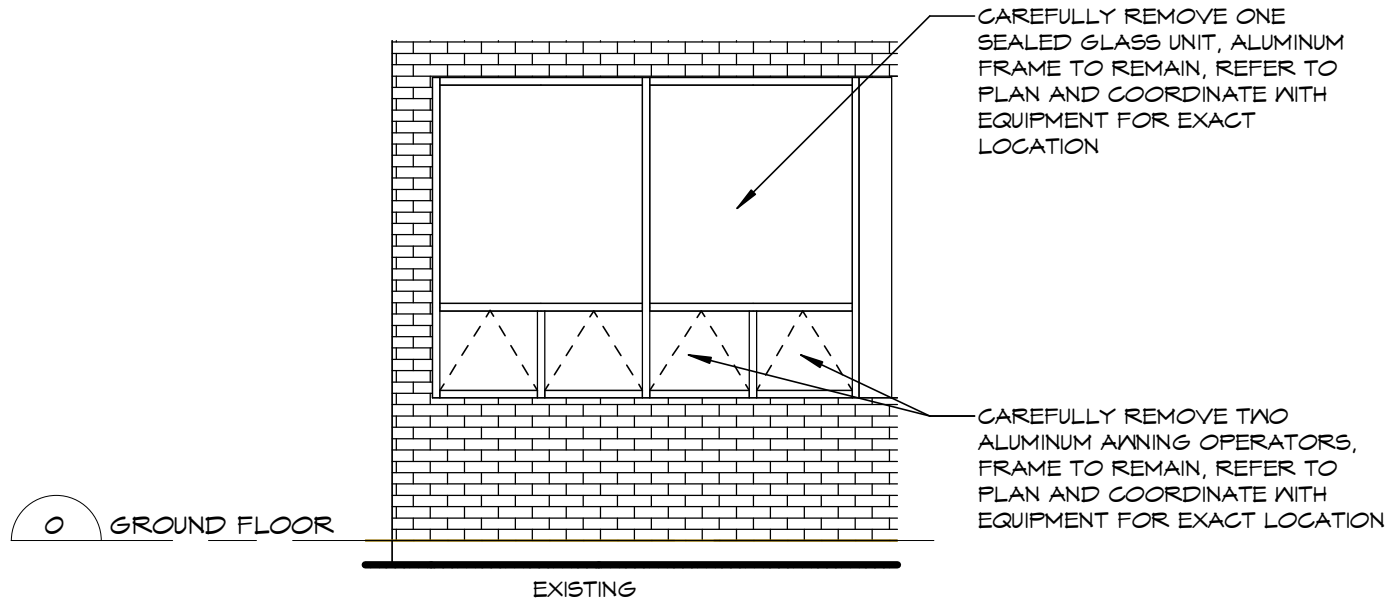
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1 : 100

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	ZB/MY	
	CHECKED	PRINTED
	LS	
	REVIEWED	DRAWING NO.
TC		
PROJECT NO.	4157	
24078		321

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NOTE:
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CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO FABRICATION



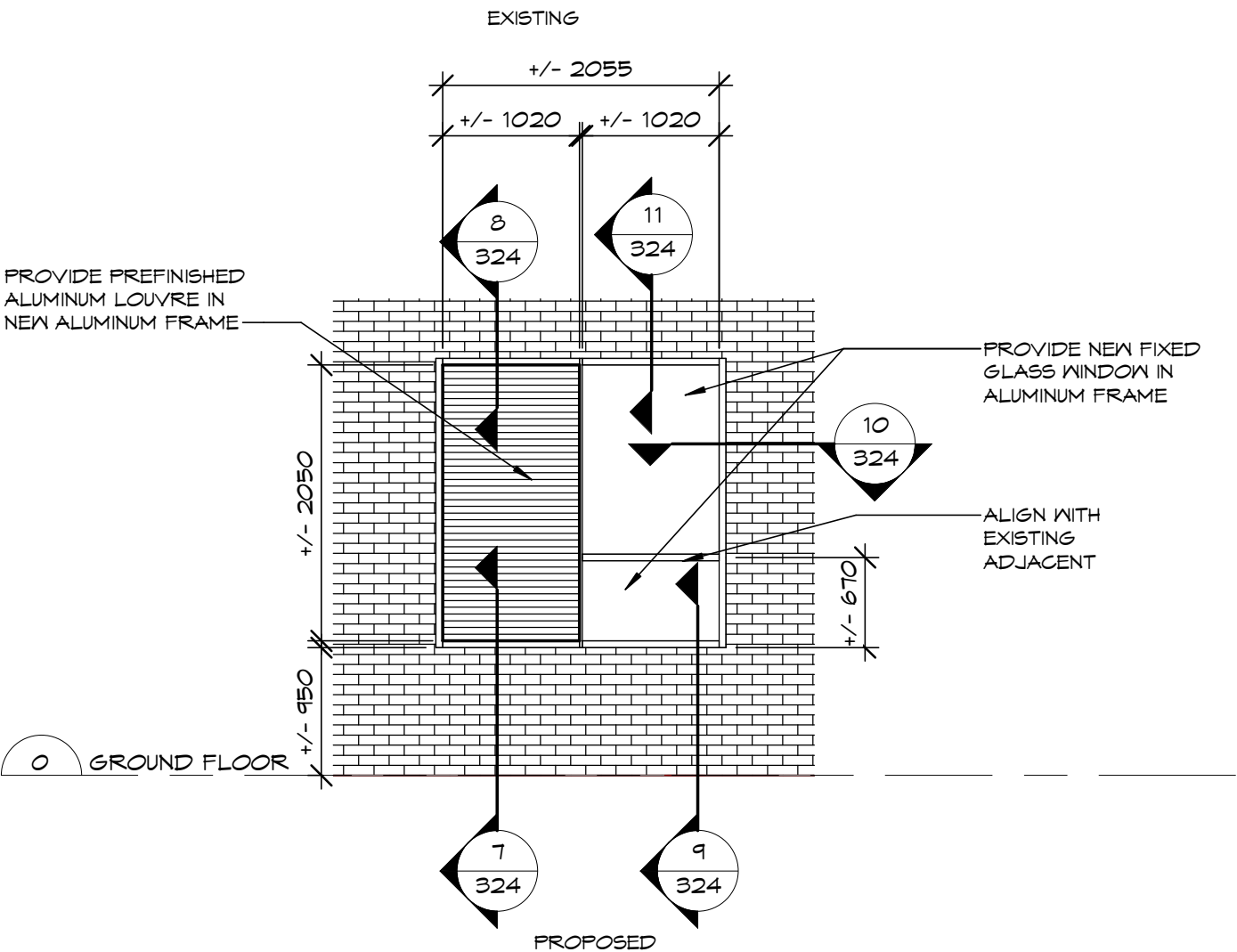
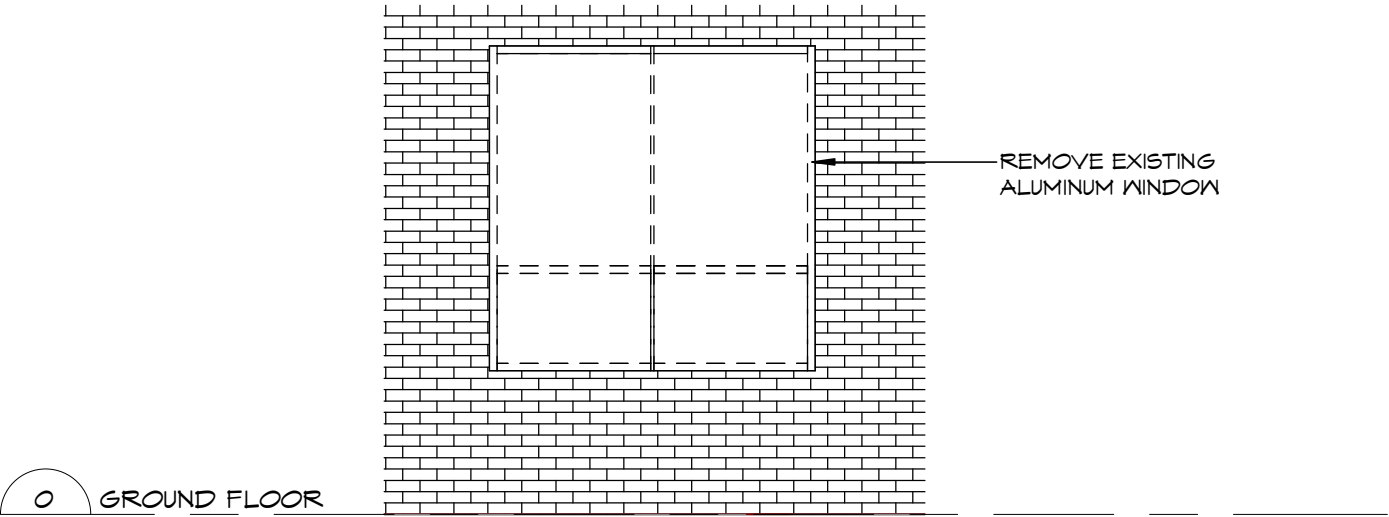
9 WINDOW TYPE W19

SCALE:
1 : 50

WINDOW SPECIFICATION (MATCH EXISTING WINDOWS):
FRAME: ALUMICOR SHADOWLINE 910 SERIES
139mm x 14mm PROFILE

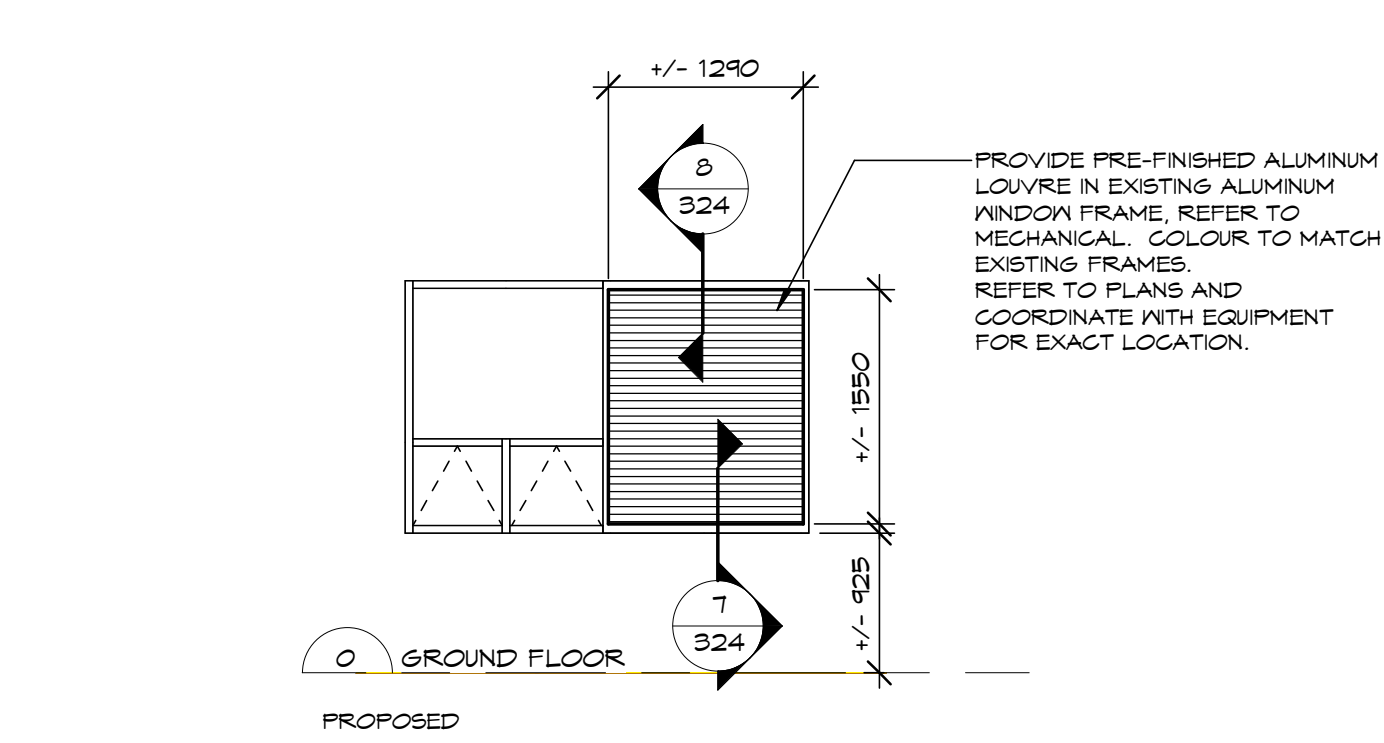
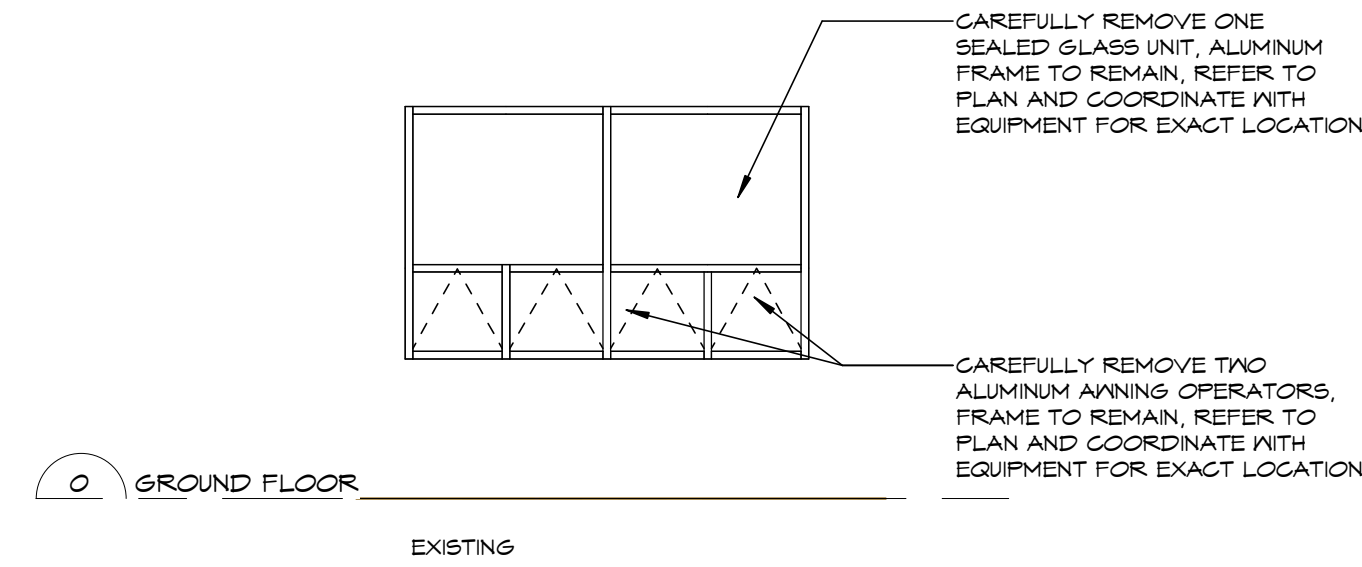
FRAME FINISH: CLEAR ANODIZED, GLASS 1

GLAZING: 6mm GREY TINT TEMPERED
ARGON GAS
BLACK WARM EDGE SPACER
6mm CLEAR TEMPERED IV LOW-E ON SURFACE #3



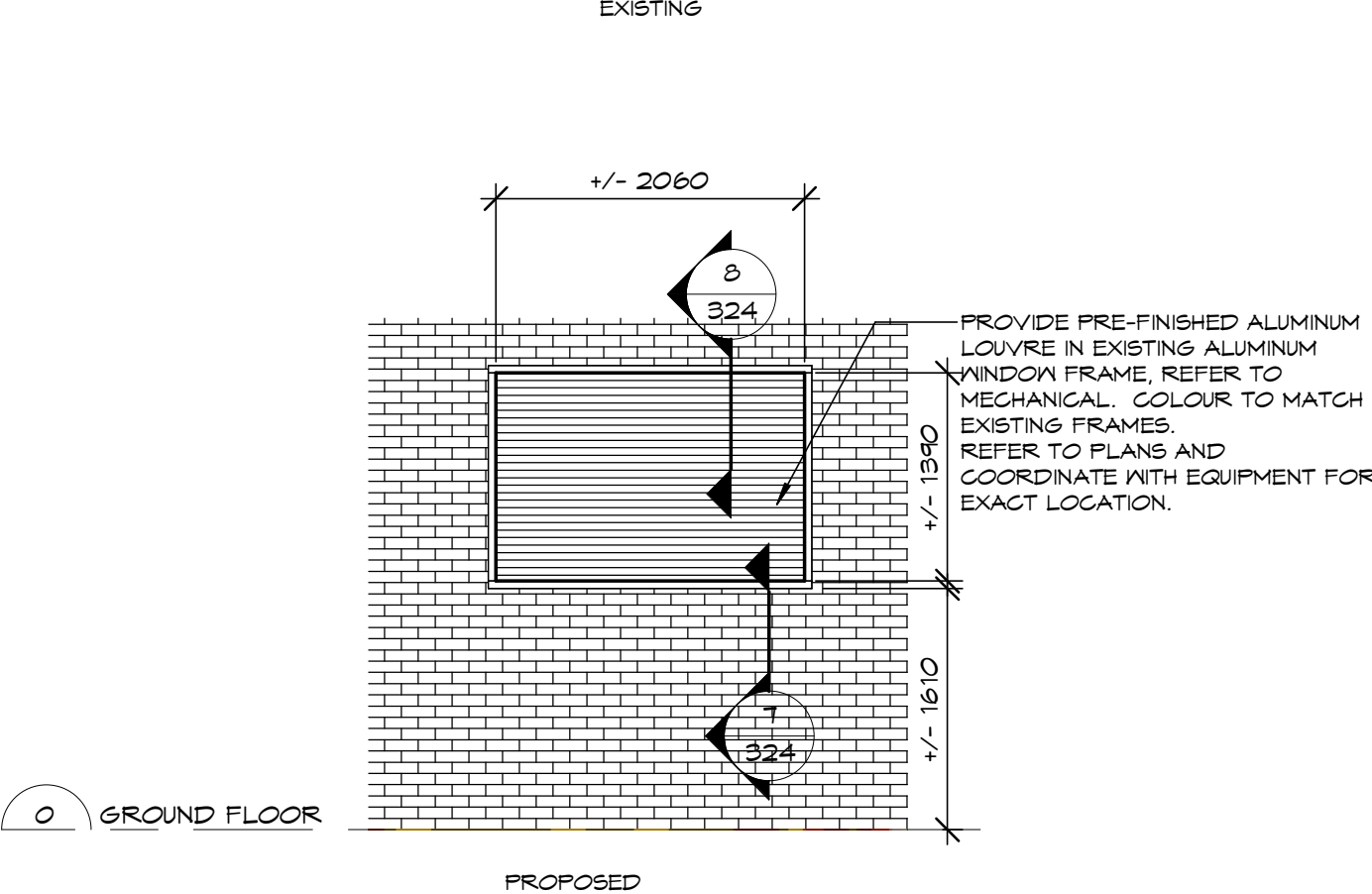
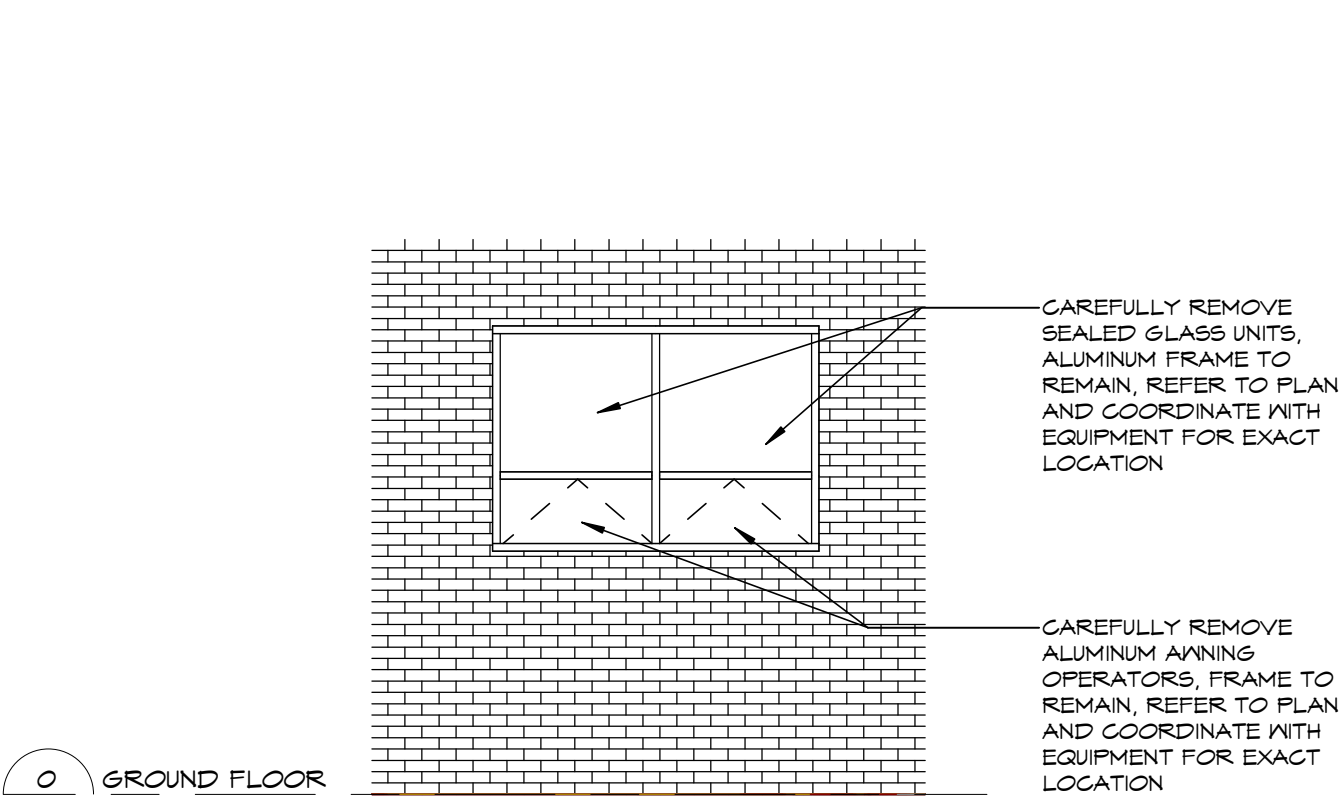
4 WINDOW TYPE W19.1

SCALE:
1 : 50



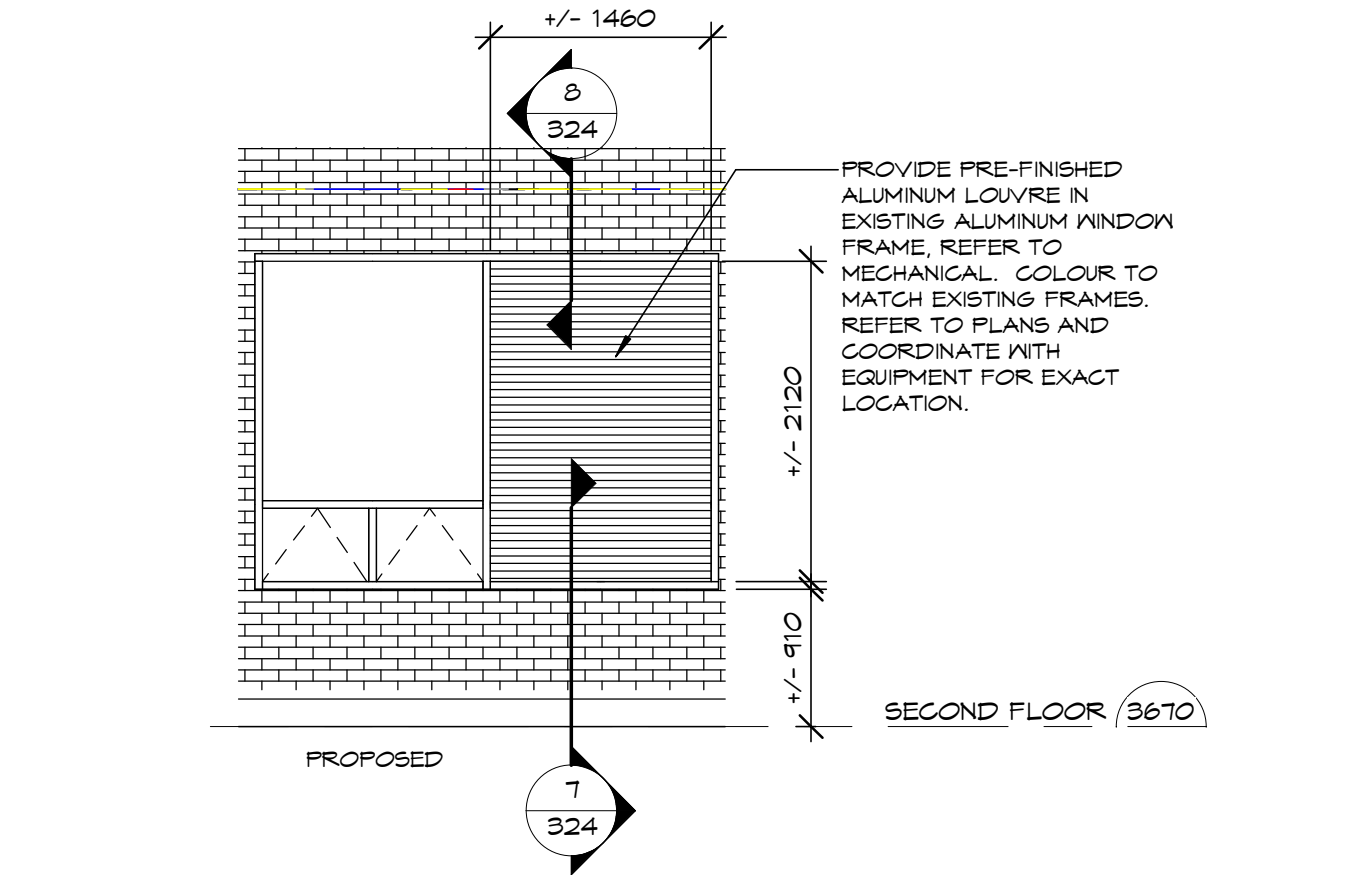
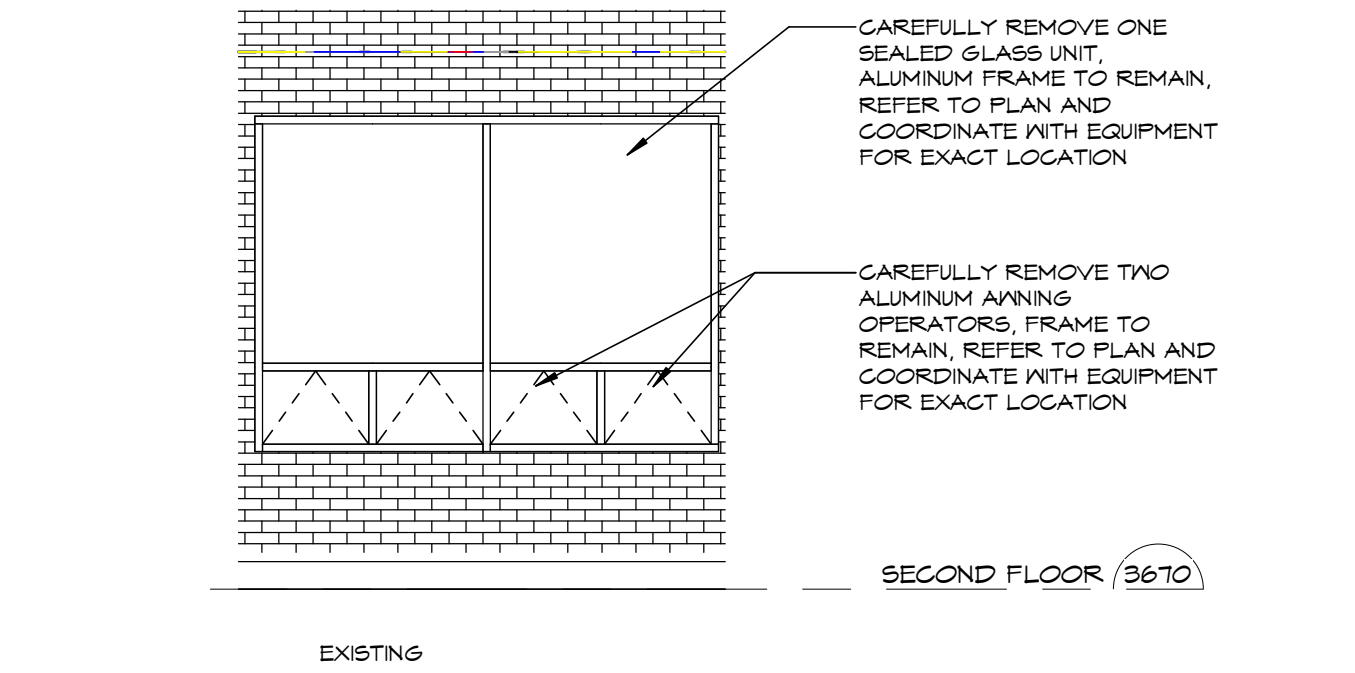
5 WINDOW TYPE W17

SCALE:
1 : 50



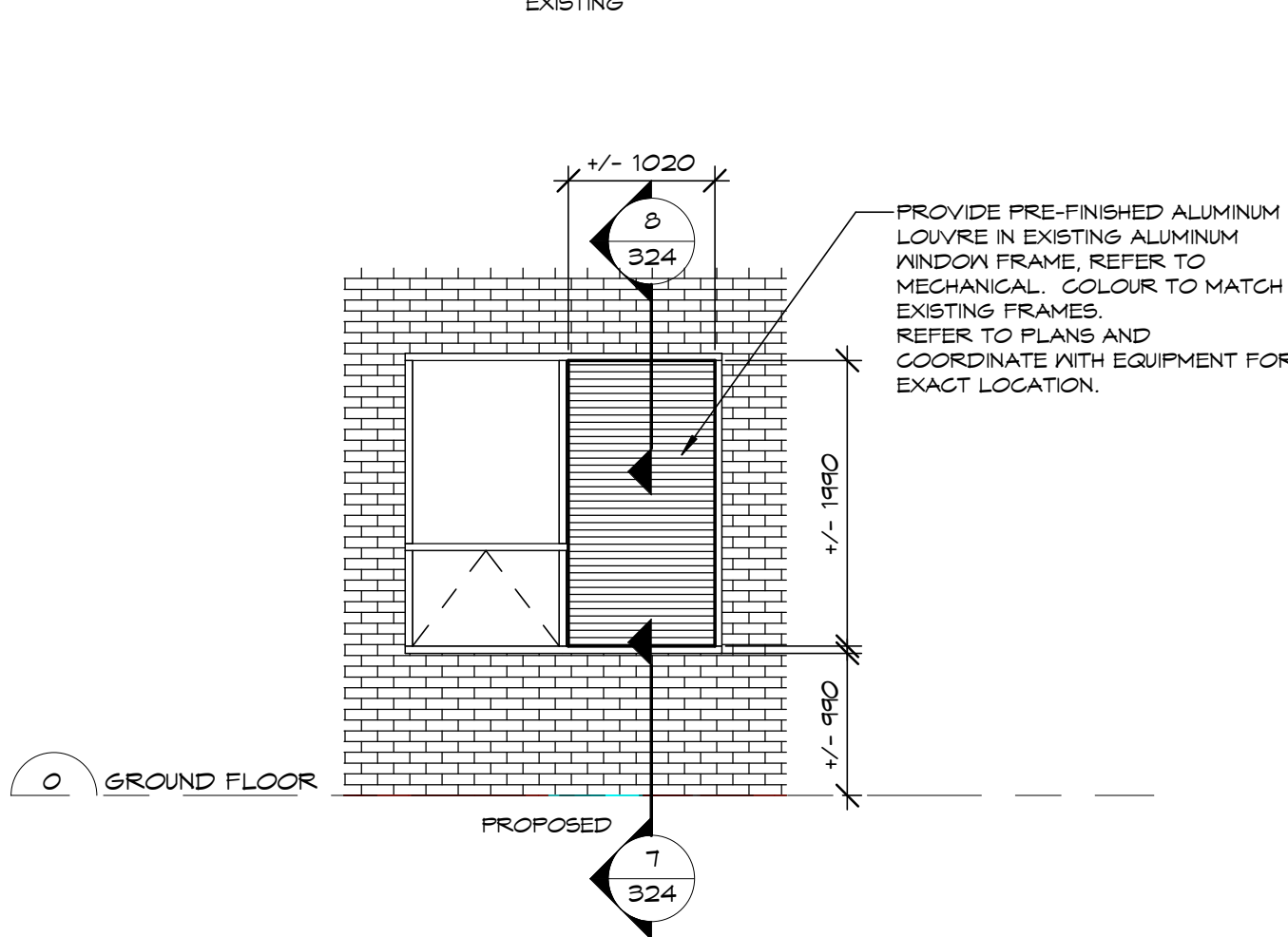
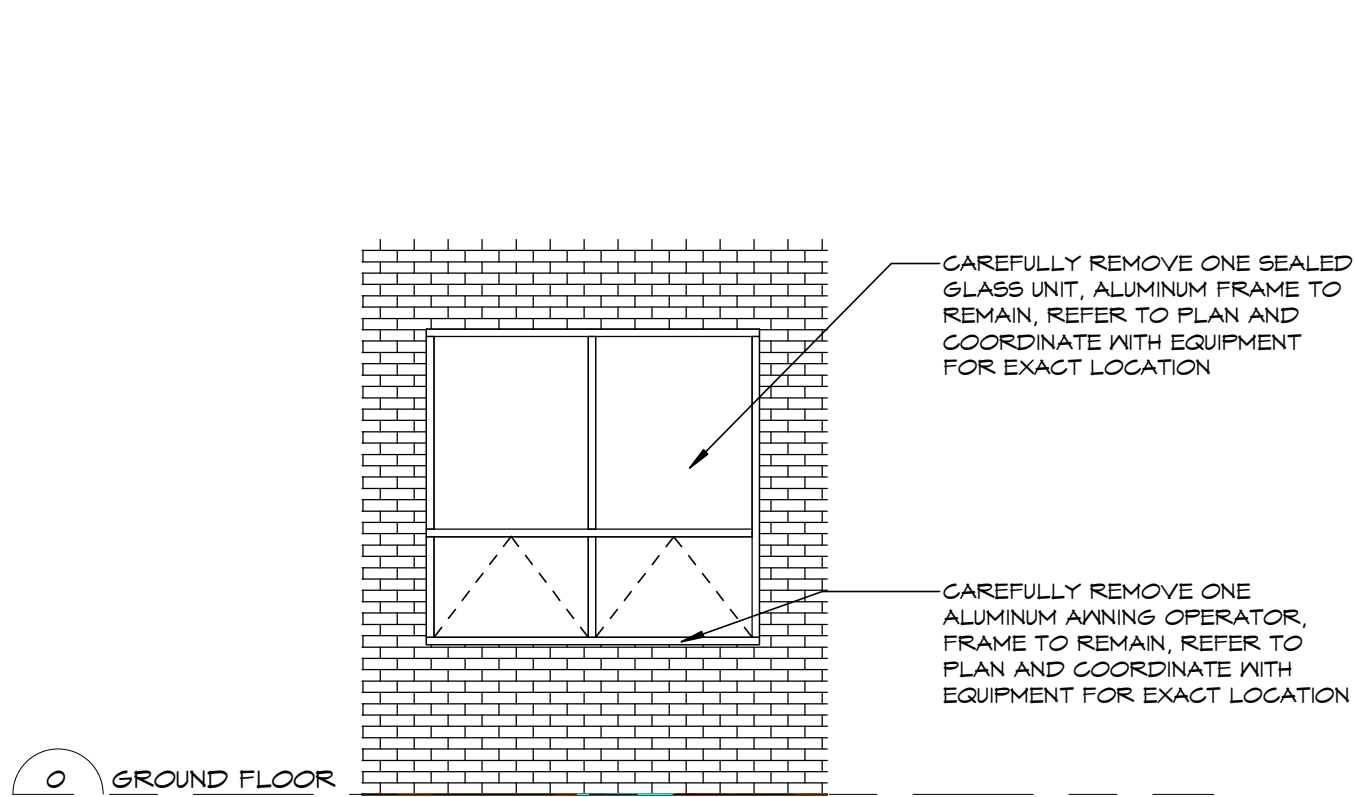
3 WINDOW TYPE W6

SCALE:
1 : 50



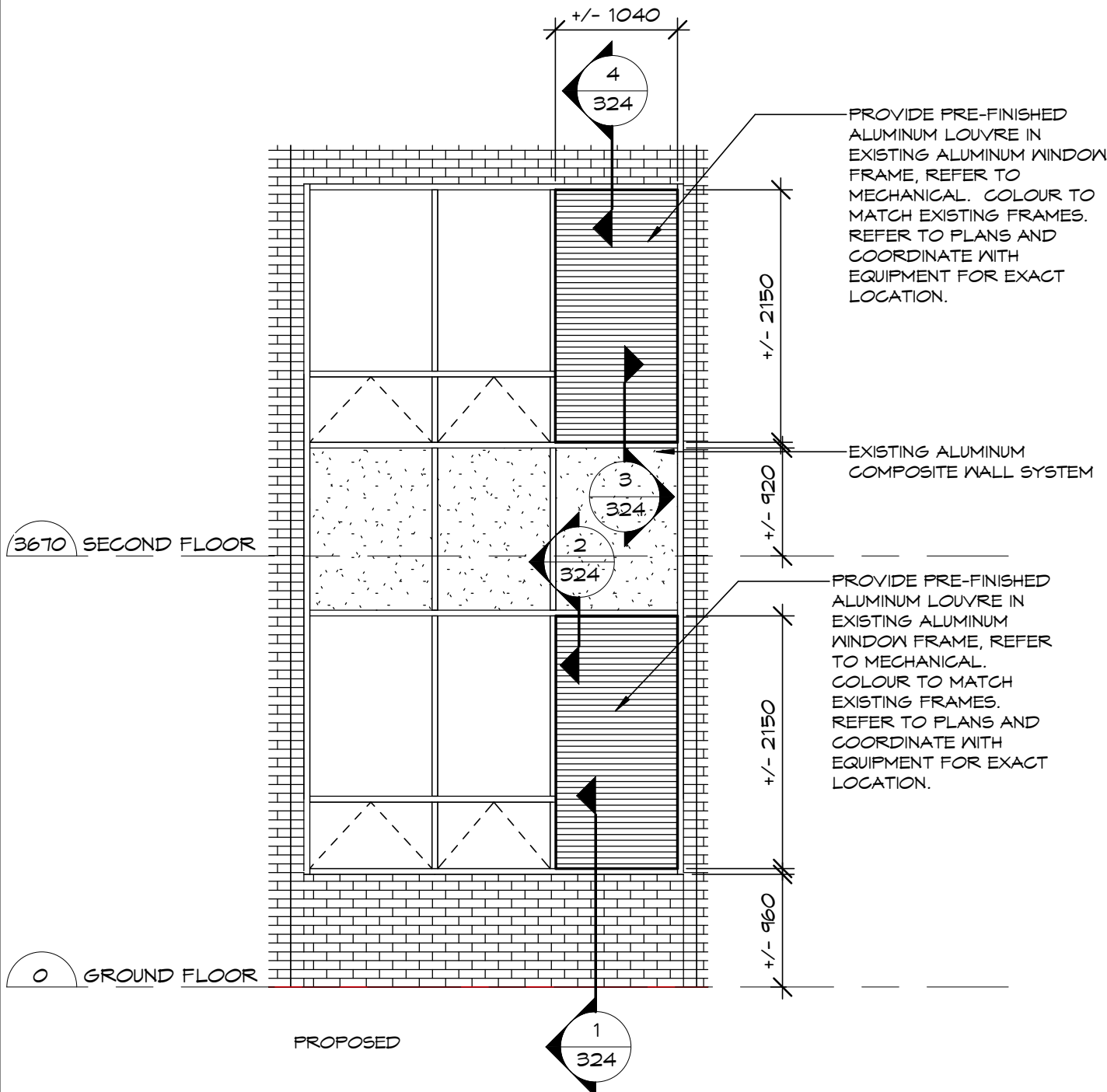
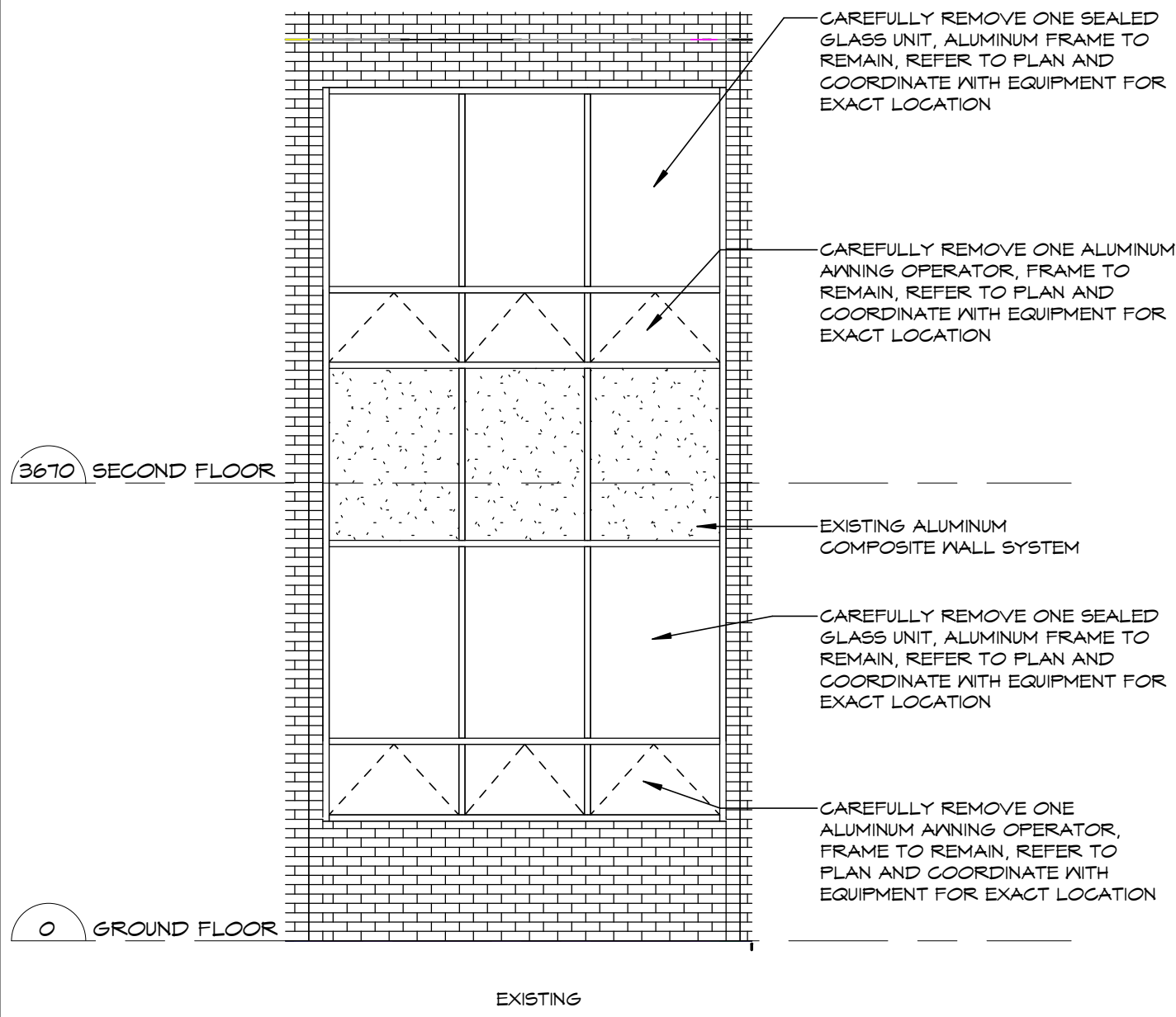
11 WINDOW TYPE W16

SCALE:
1 : 50



2 WINDOW TYPE W3

SCALE:
1 : 50



1 WINDOW TYPE W1

SCALE:
1 : 50

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PROJECT
TISS - MECHANICAL REPLACEMENT
2510 PARKDALE AVE., BROCKVILLE, ON

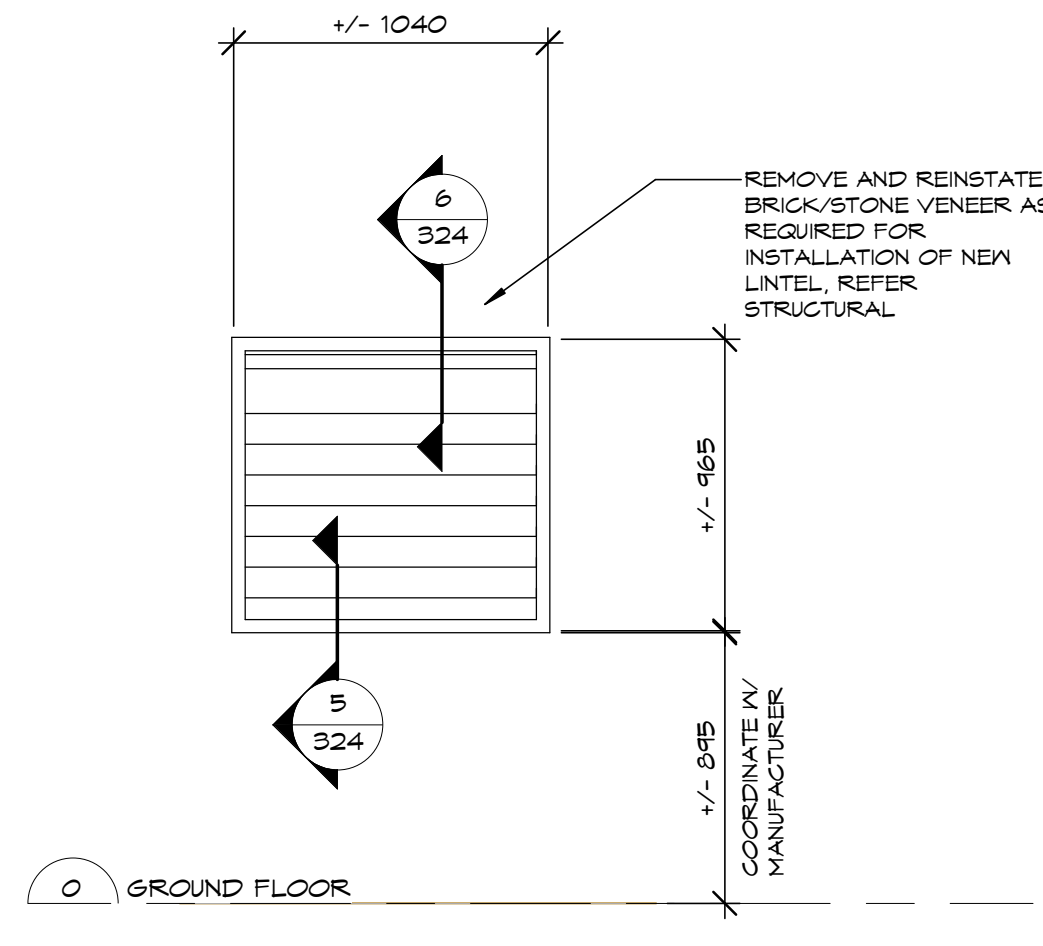
DRAWING
WINDOW TYPE ELEVATIONS

SCALE
1 : 50

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REVIEWED TC	DRAWING NO.	
PROJECT NO. 24078	4157	322


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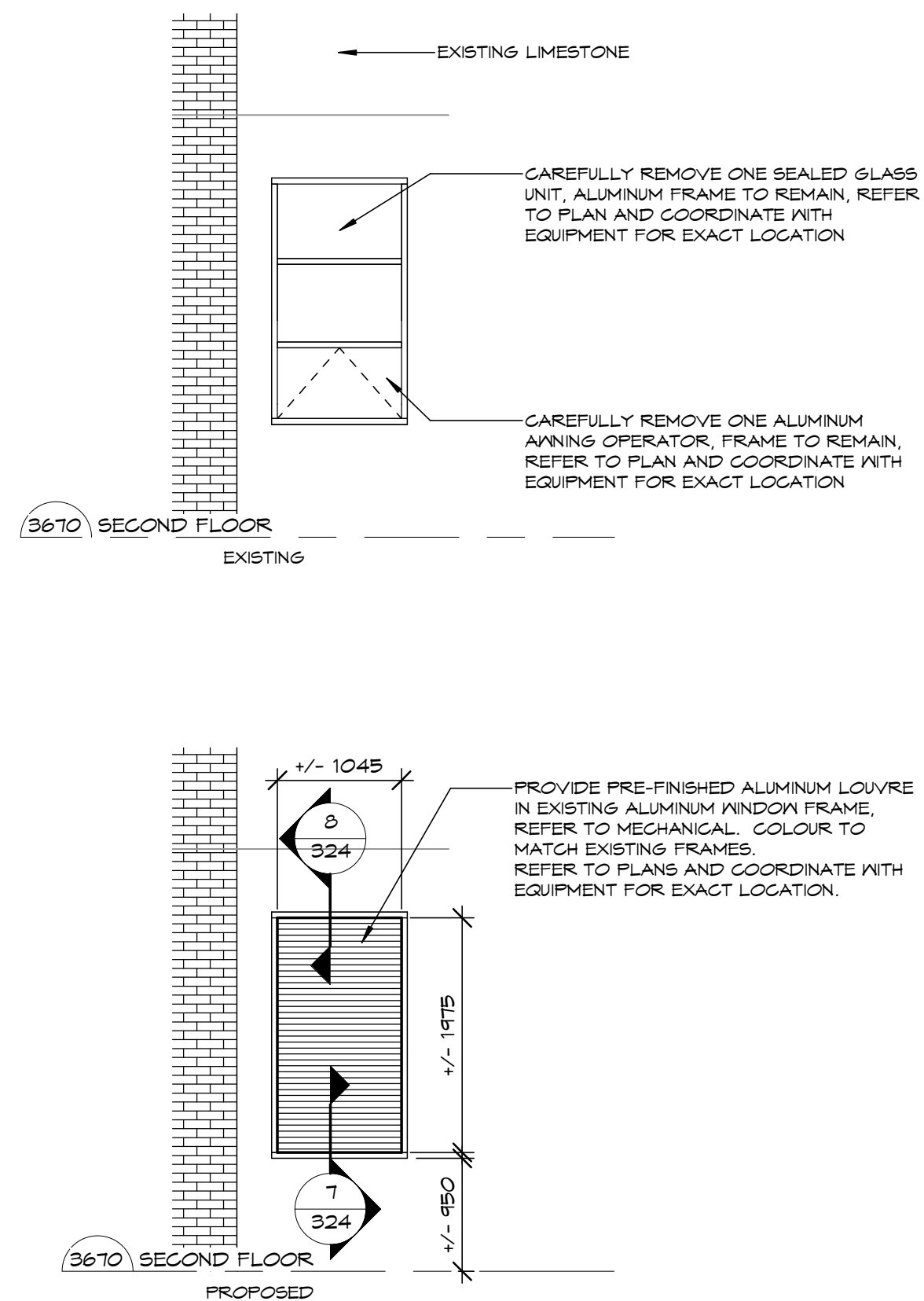


7 LOUVRE ELEVATION

SCALE: 1 : 25




A horizontal scale bar with major tick marks at 0m, 0.5m, 1m, 1.5m, 2m, and 2.5m. The segments between 0m and 0.5m, 1m and 1.5m, and 2m and 2.5m are shaded gray. The segment between 0.5m and 1m is white. The segment between 1.5m and 2m is shaded gray.

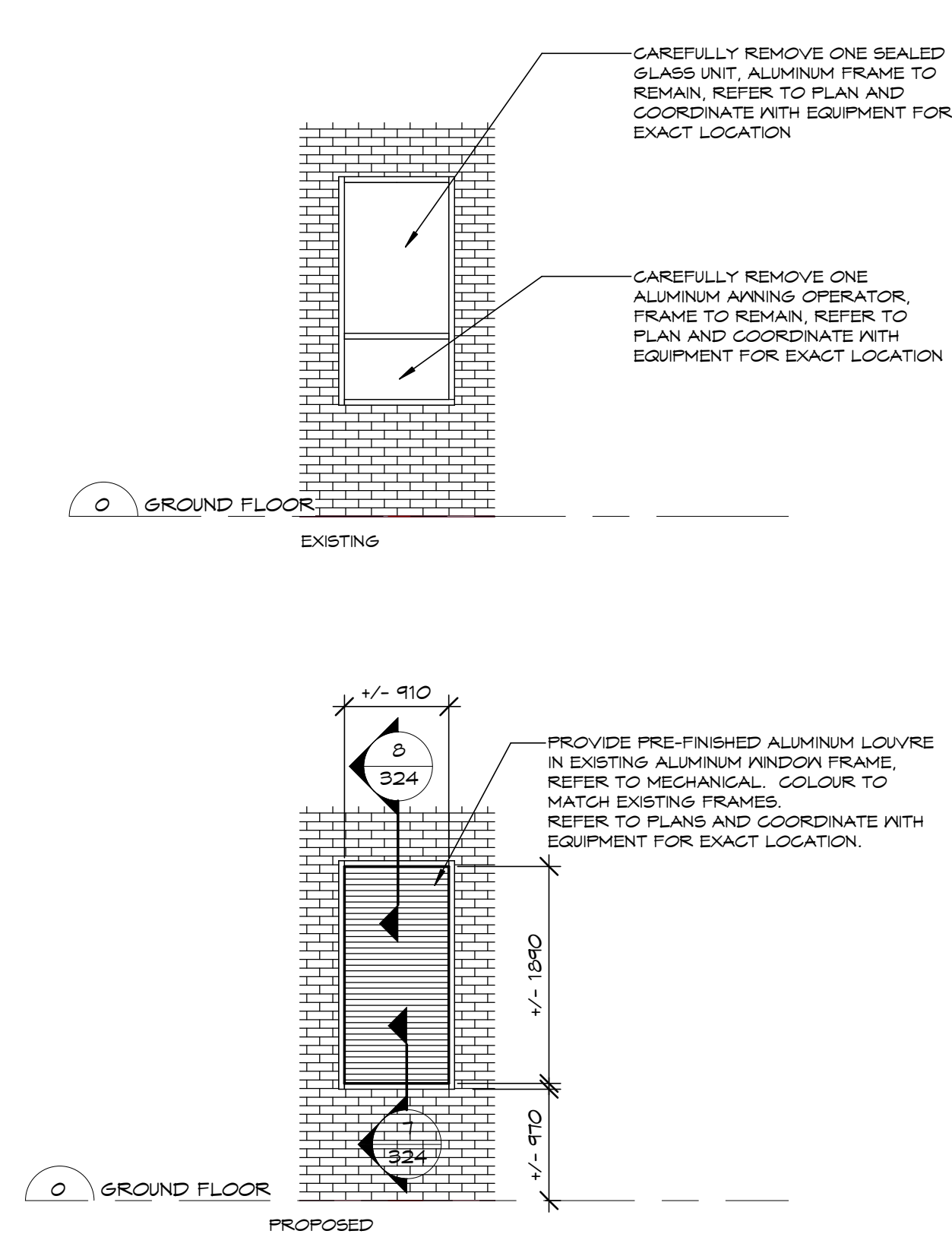


6	WINDOW TYPE W44
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SCALE: 1 : 50

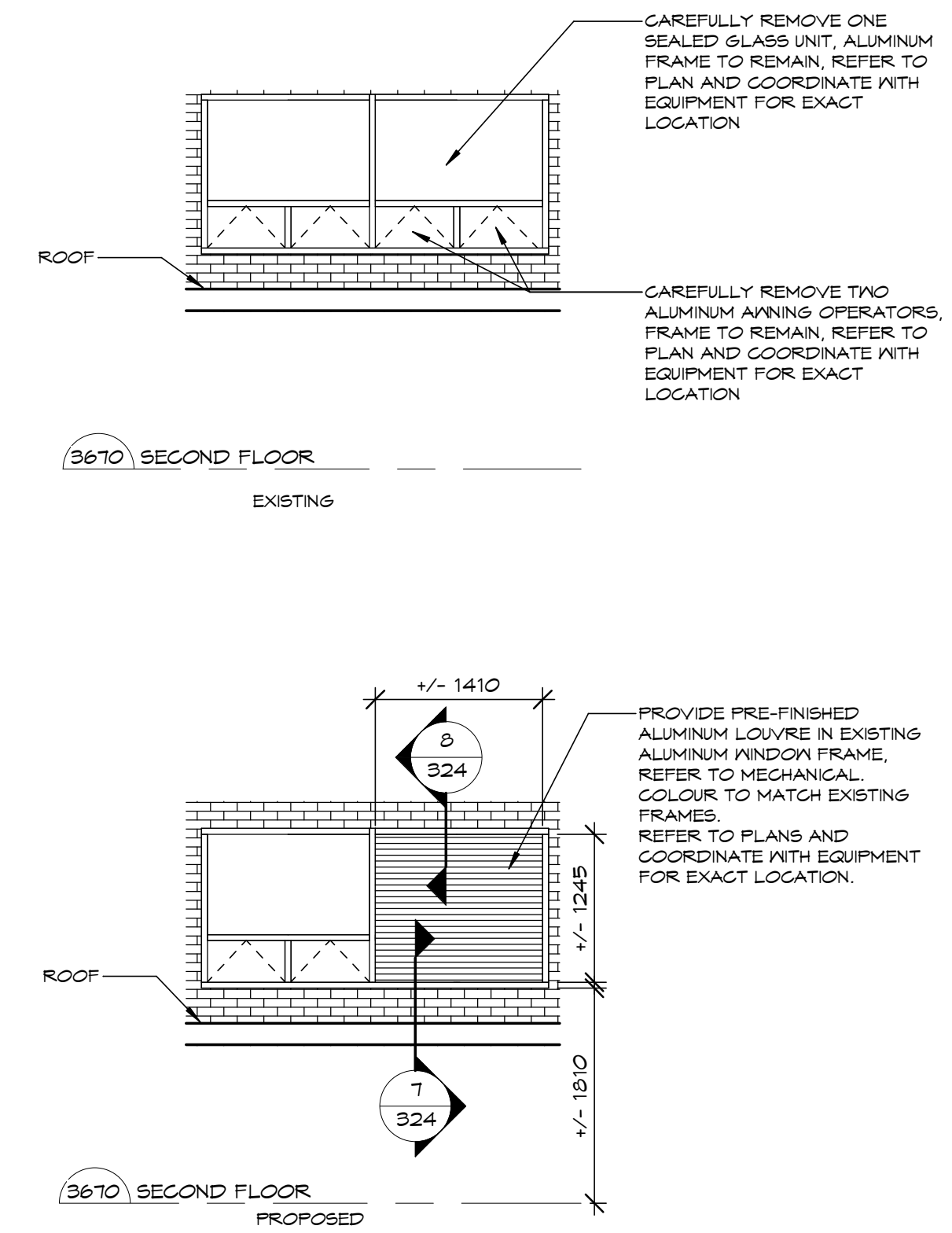
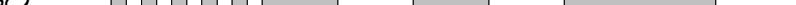


A horizontal scale bar with major tick marks at 0m, 1m, 2m, 3m, 4m, and 5m. The segments between 0m and 1m, 1m and 2m, 2m and 3m, and 3m and 4m are shaded gray. The segment between 4m and 5m is white.



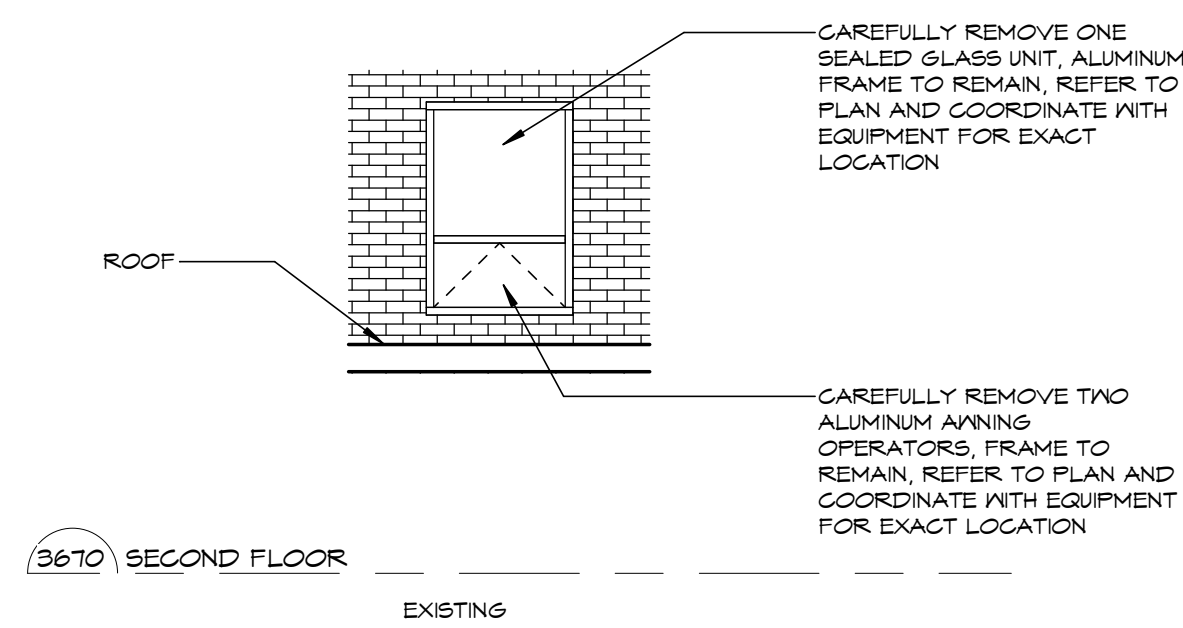
5	WINDOW TYPE W36
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SCALE: 1 : 50



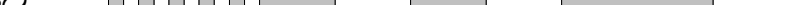
4	WINDOW TYPE W34
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SCALE: 1 : 50

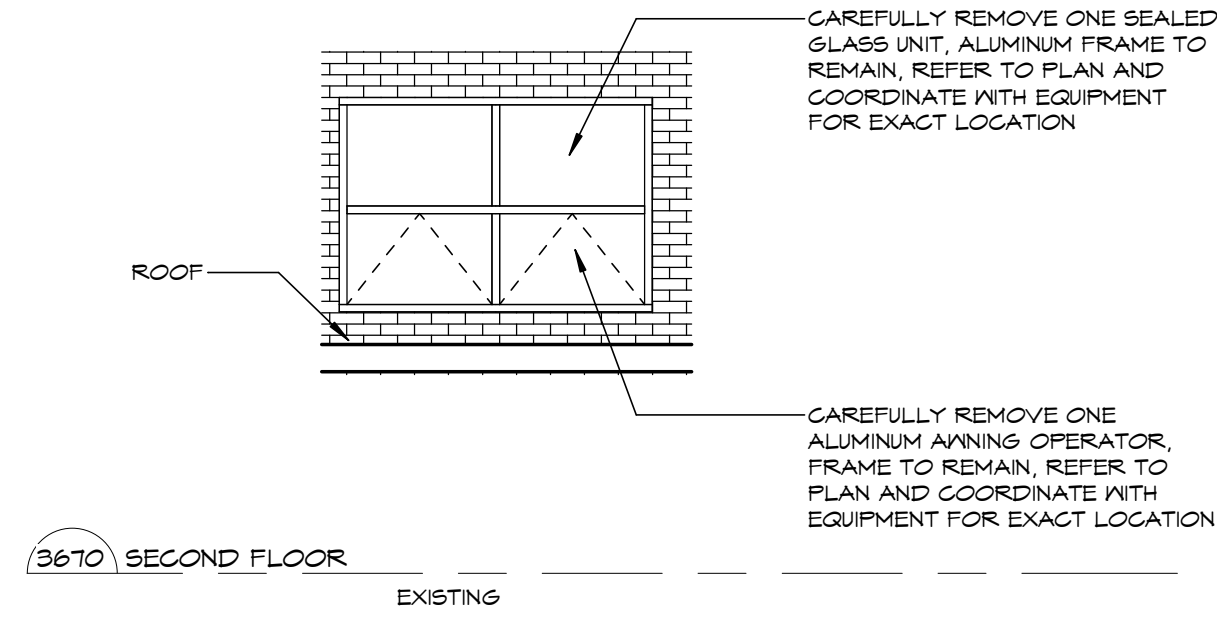


3 WINDOW TYPE W33

SCALE: 1:50



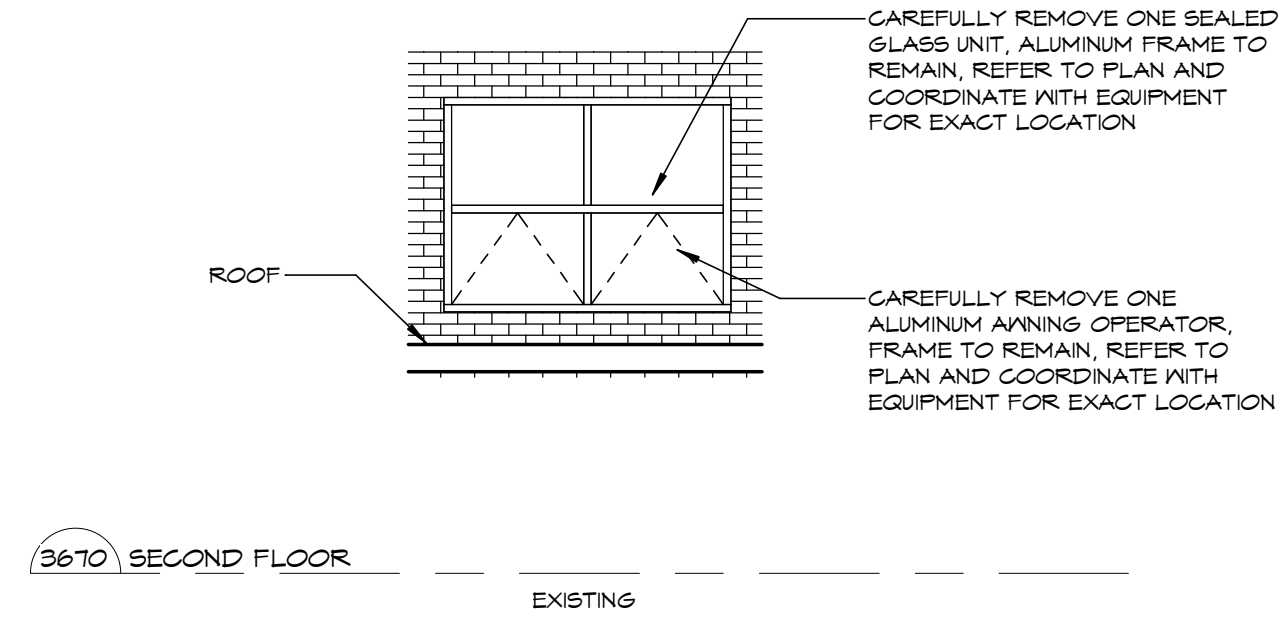
0m 1m 2m 3m 4m 5m



2 WINDOW TYPE W21B

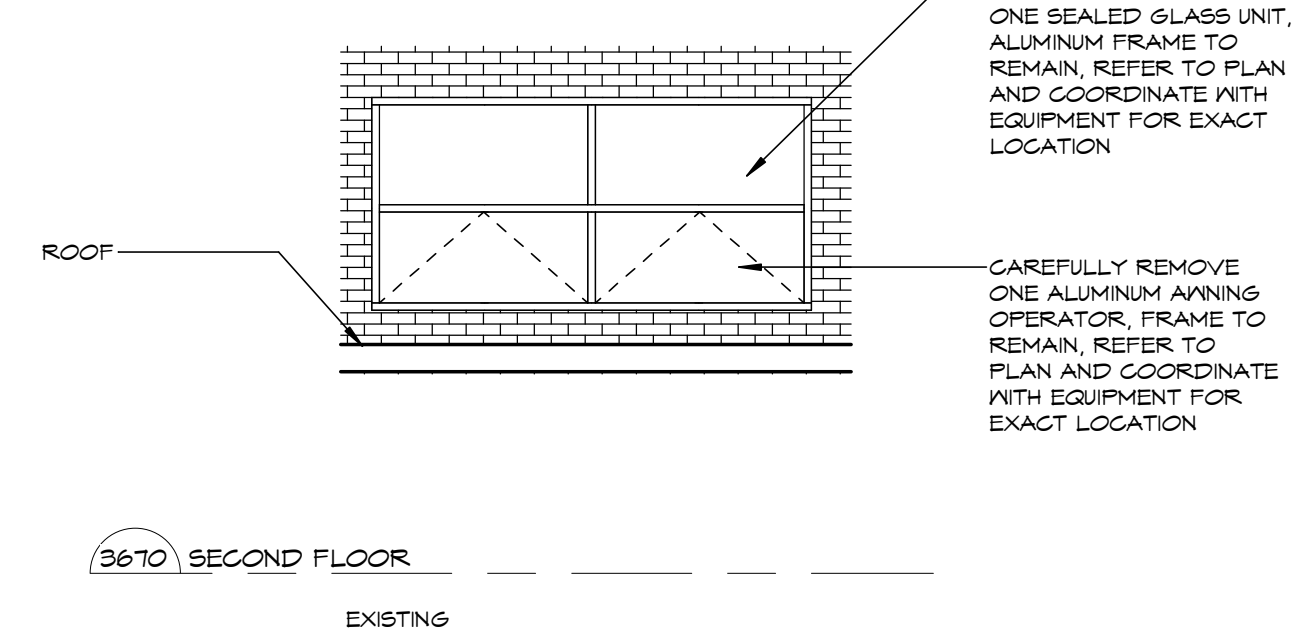
SCALE: 1:50

0m 1m 2m 3m 4m 5m



8	WINDOW TYPE W21A
---	------------------

SCALE: 1:50

A horizontal scale bar with vertical tick marks at 0m, 1m, 2m, 3m, 4m, and 5m. The segments between 0m and 1m, 1m and 2m, 2m and 3m, and 3m and 4m are shaded gray. The segment between 4m and 5m is white.

1 WINDOW TYPE W20

SCALE: 1 : 50

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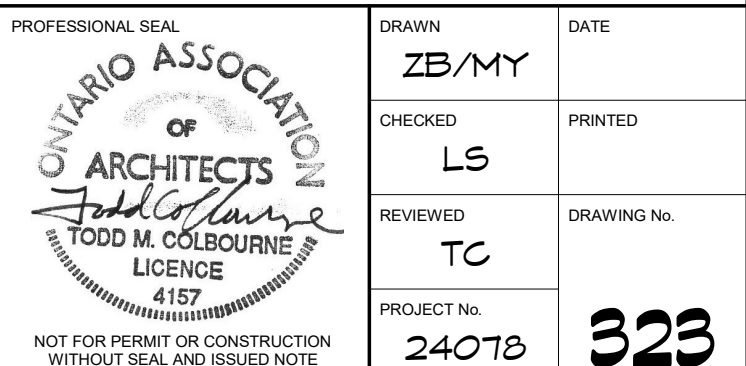
**TISS - MECHANICAL
REPLACEMENT**

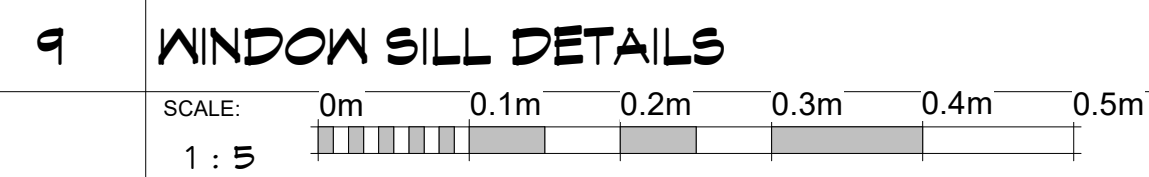
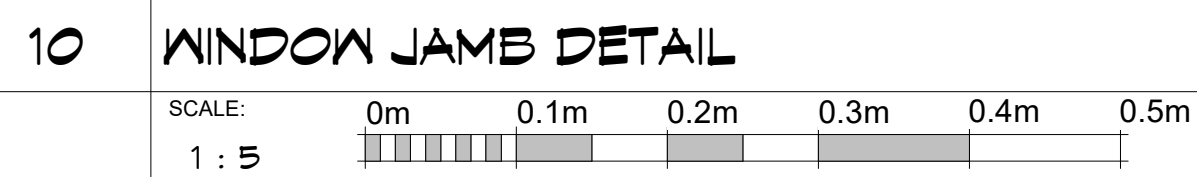
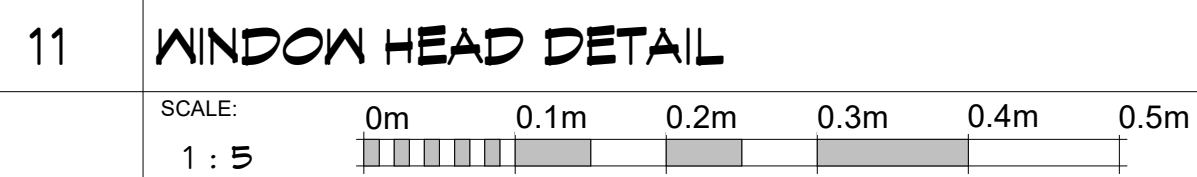
**2510 PARKEDALE AVE., BROCKVILLE,
ON**

WINDOW TYPE ELEVATIONS

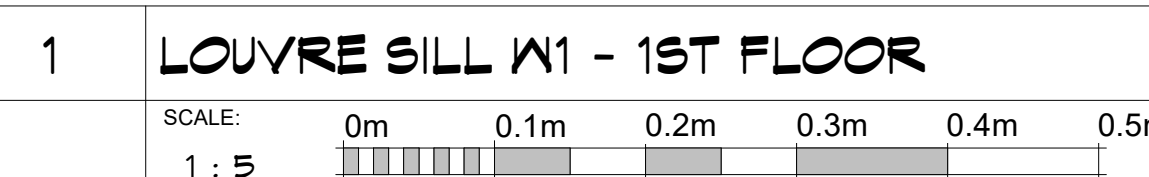
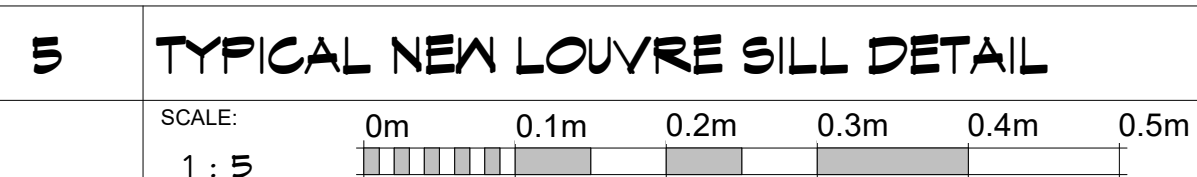
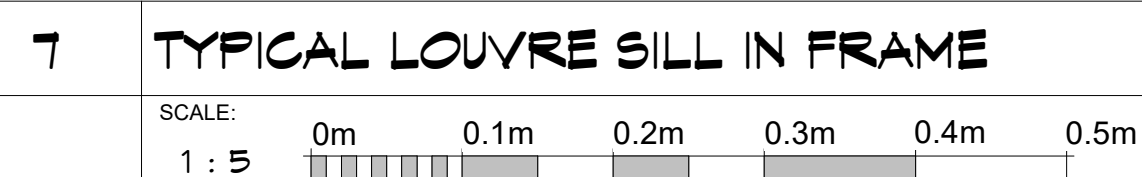
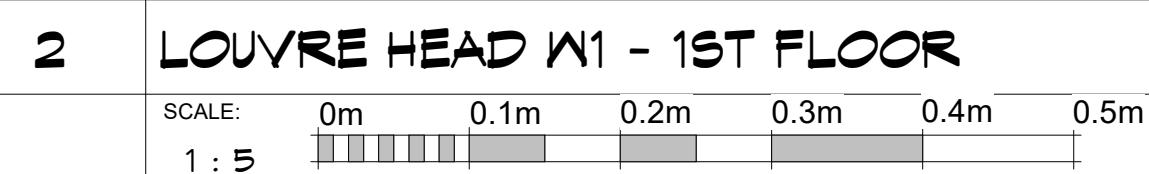
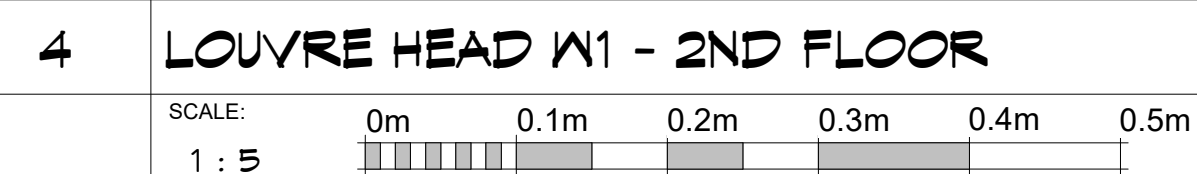
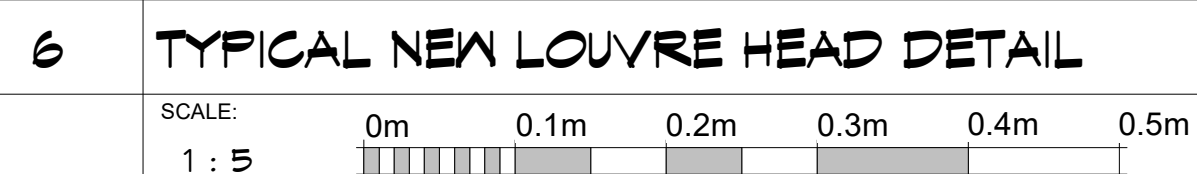
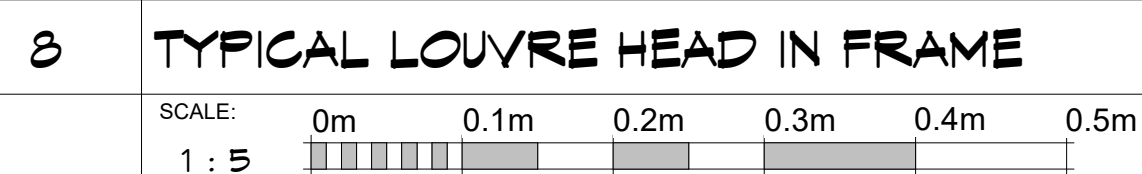
SCALE

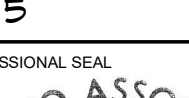
As indicated





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SCALE 1 : 5		
PROFESSIONAL SEAL  ONTARIO ASSOCIATION OF ARCHITECTS <i>Todd M. Colbourne</i> TODD M. COLBOURNE LICENCE 4157 NOT FOR PERMIT OR CONSTRUCTION WITHOUT SEAL AND ISSUED NOTE	DRAWN ZB/MY	DATE
	CHECKED LS	PRINTED
	REVIEWED TC	DRAWING No.
	PROJECT No. 2407B	324